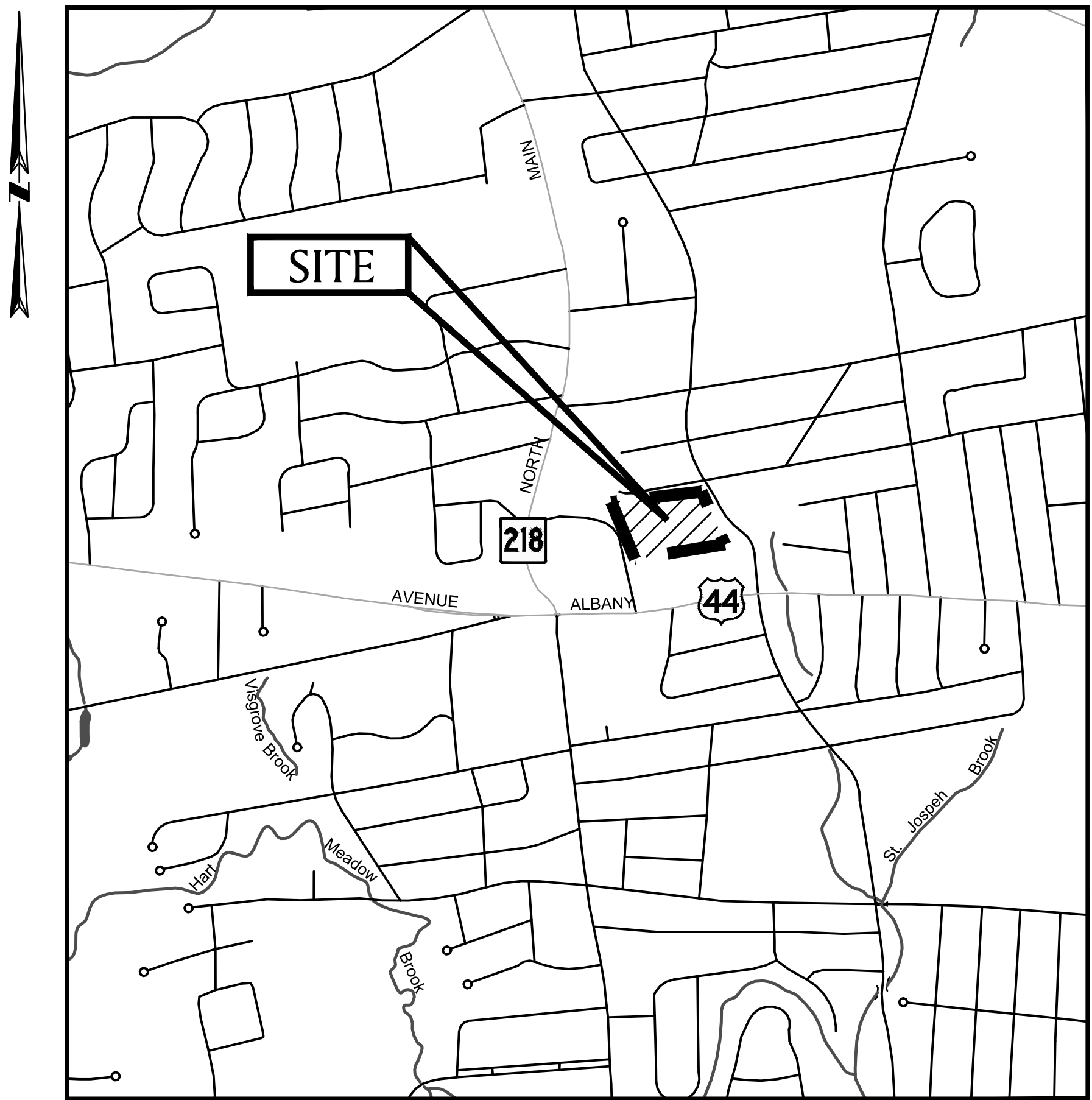


# WEST HARTFORD FELLOWSHIP HOUSING REDEVELOPMENT

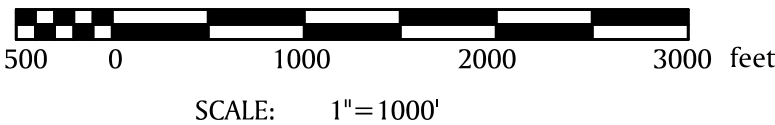
## AMENDMENT TO SDD#87 AND WETLANDS PERMIT

10 & 60 STARKEL ROAD  
WEST HARTFORD, CONNECTICUT

MAY 31, 2019



SITE MAP



SDD APPLICATION SUBMISSION

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|                   | BOUNDARY AND TOPOGRAPHIC SURVEY - #10 - 60 STARKEL ROAD, WEST HARTFORD CT |

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PREPARED FOR:

WEST HARTFORD FELLOWSHIP HOUSING  
10-60 STARKEL ROAD  
WEST HARTFORD, CT 06117

PREPARED BY:

 **BSC GROUP**  
300 Winding Brook Drive  
Glastonbury, Connecticut 06033  
860 652 8227



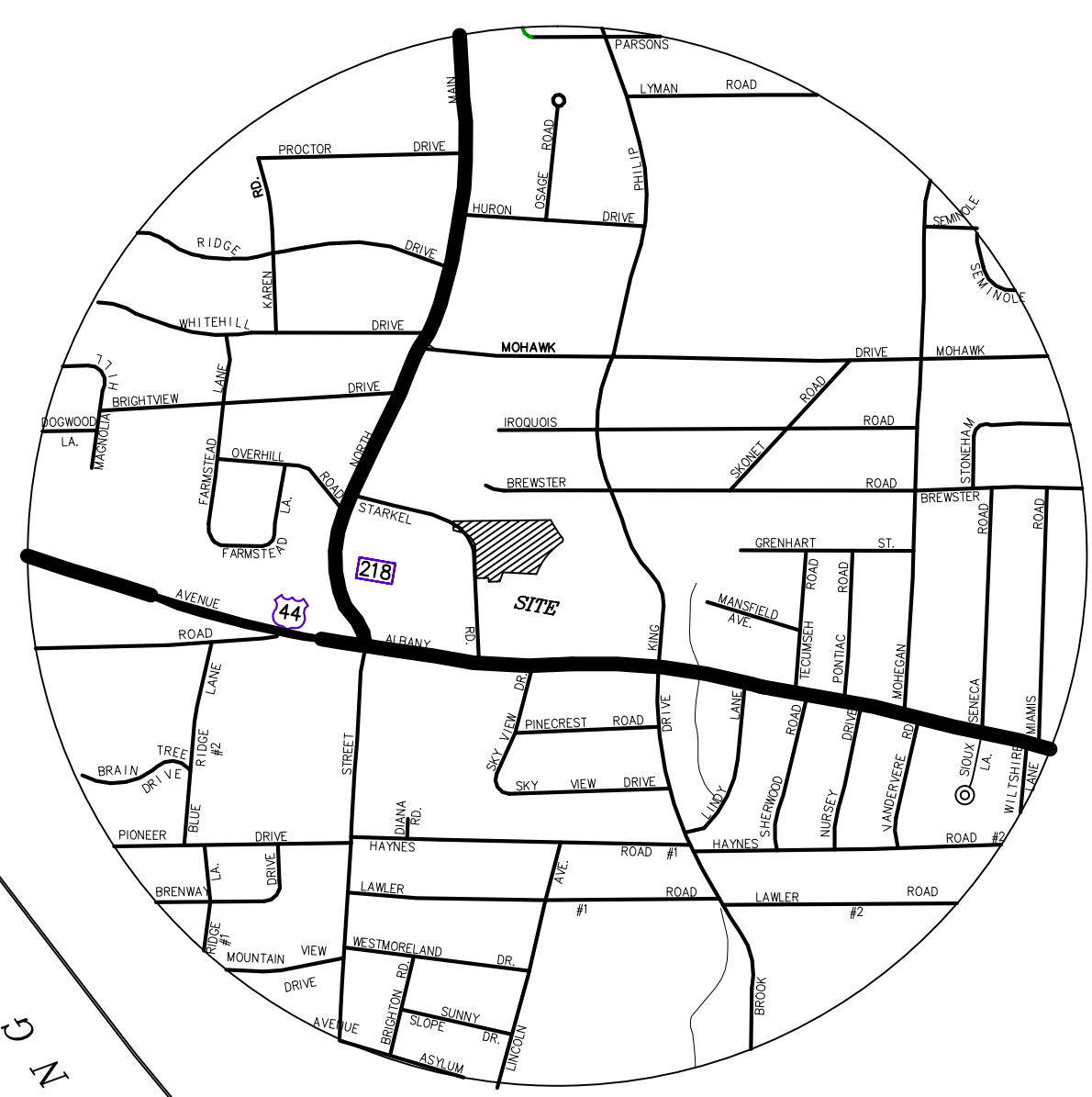
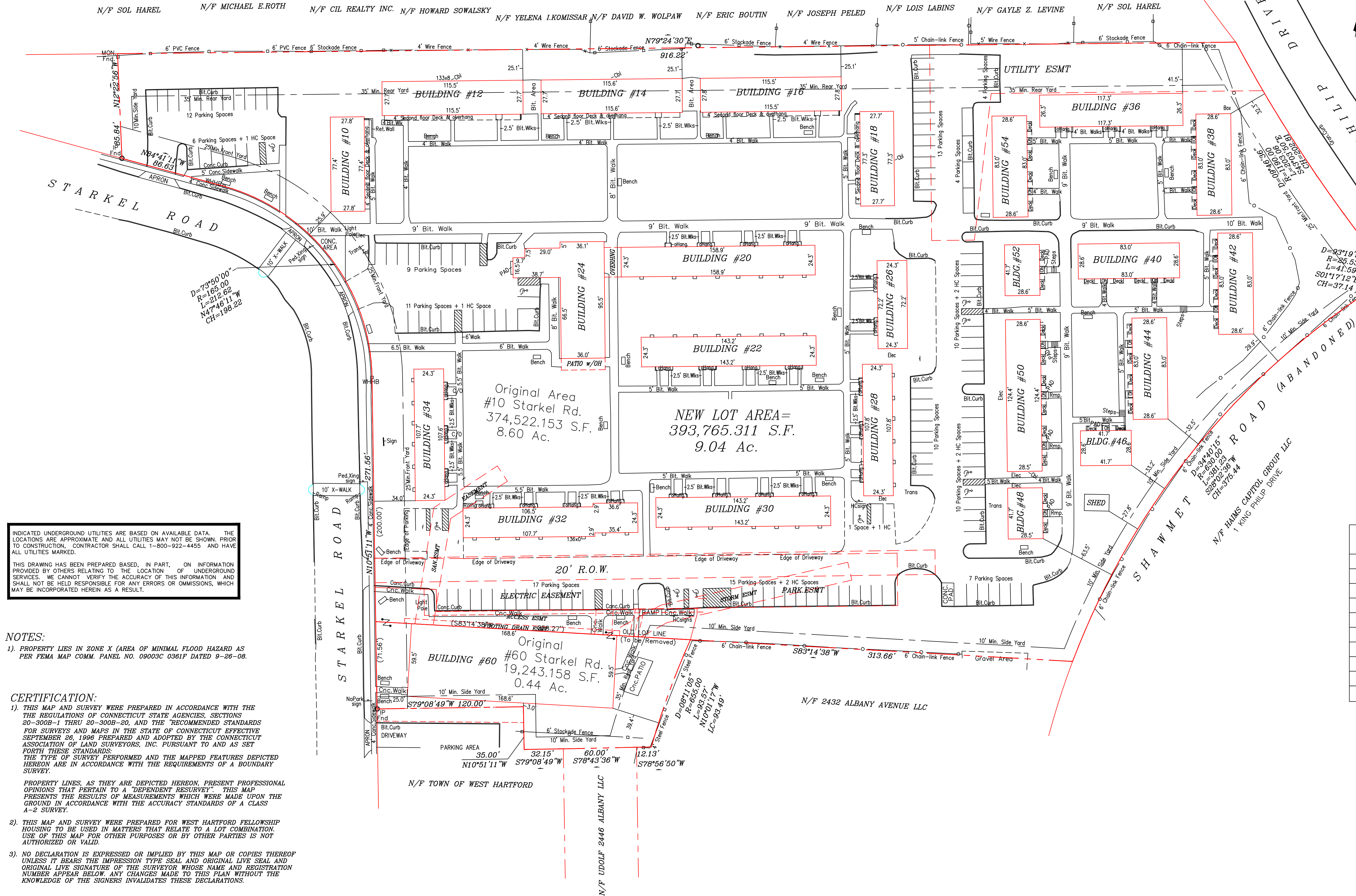
MAP REFERENCES:

- 1) TOWN OF WEST HARTFORD DIVISION OF ENGINEERING. WEST HARTFORD FELLOWSHIP HOUSING, PROPOSED ZONE CHANGE FROM RM-3 & RM-2 TO RM-1. STARKEL & SHAWMUT ROADS. SCALE 1"=40'. JOB No. 65-89. DATED DEC. '89. REVISED 1/90 & 2/90. MAP 5108 WEST HARTFORD TOWN CLERK.
- 2) TOWN OF WEST HARTFORD DIVISION OF ENGINEERING. FELLOWSHIP HOUSING STARKEL ROAD AS BUILT, WEST HARTFORD CT. SCALE 1"=20'. JOB No. 58-89. DATED NOV. '89. REVISED 8-13-92 & 9-28-92. MAP 5361 W.HTFD. TOWN CLERK.

- 3) PROPERTY OF WEST HARTFORD FELLOWSHIP HOUSING INC. KING PHILIP DRIVE & SHAWMUT ROAD WEST HARTFORD, CONNECTICUT. DATE JUNE, 1975. SCALE 1"=40'. CLOSE, JENSEN & MILLER. MAP 2075 W. HTFD. TOWN CLERK.
- 4) MAP SHOWING EASEMENTS TO BE ACQUIRED BY FELLOWSHIP HOUSING-PHASE III STARKEL ROAD WEST HARTFORD, CONNECTICUT. SCALE 1"=20'. DATE 5/28/91. REVISED 7/2/91. SHEETS 1 & 2 OF 3. LAND-DATA ENGRS-SURVEYORS
- 5) PROPERTY OF TOWN OF WEST HARTFORD, STARKEL ROAD. SURVEY BY DIVISION OF ENGINEERING. OCT. 1985. SCALE 1"=20'. PROJ. No. 50-85."

- 6) SECTION D SAGAMORE TERRACE PROPERTY OF DAVID CARLSON, WEST HARTFORD CONN. SCALE 1"=50'. JUNE 30, 1947. GEORGE R. JENKINSON C.E."
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- 10) SITE AND UTILITIES PLAN. SCALE 1"=40'. EXTENSION TO WEST HARTFORD FELLOWSHIP HOUSING, INC. STARKEL ROAD, WEST HARTFORD, CONN. MAP 5108 WEST HTFD. TOWN CLERK.



INDICATED UNDERGROUND UTILITIES ARE BASED ON AVAILABLE DATA. THE LOCATIONS ARE APPROXIMATE AND ALL UTILITIES MAY NOT BE SHOWN. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL CALL 1-800-922-4455 AND HAVE ALL UTILITIES MARKED.

THIS DRAWING HAS BEEN PREPARED BASED, IN PART, ON INFORMATION PROVIDED BY OTHERS RELATING TO THE LOCATION OF UNDERGROUND SERVICES. WE CANNOT VERIFY THE ACCURACY OF THIS INFORMATION AND SHALL NOT BE HELD RESPONSIBLE FOR ANY ERRORS OR OMISSIONS, WHICH MAY BE INCORPORATED HEREIN AS A RESULT.

NOTES:

- 1) PROPERTY LIES IN ZONE X (AREA OF MINIMAL FLOOD HAZARD AS PER FEMA MAP COMM. PANEL NO. 09003C 0361F DATED 9-26-08.

CERTIFICATION:

- 1) THIS MAP AND SURVEY WERE PREPARED IN ACCORDANCE WITH THE THE REGULATIONS OF CONNECTICUT STATE AGENCIES, SECTIONS 20-300B-1 THRU 20-300B-20, AND THE RECOMMENDED STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT EFFECTIVE SEPTEMBER 26, 1996 PREPARED AND ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. PURSUANT TO AND AS SET FORTH THESE STANDARDS. THE TYPE OF SURVEY PERFORMED AND THE MAPPED FEATURES DEPICTED HEREON ARE IN ACCORDANCE WITH THE REQUIREMENTS OF A BOUNDARY SURVEY.
- PROPERTY LINES, AS THEY ARE DEPICTED HEREON, PRESENT PROFESSIONAL OPINIONS THAT PERTAIN TO A DEPENDENT RESURVEY. THIS MAP PRESENTS THE RESULTS OF MEASUREMENTS WHICH WERE MADE UPON THE GROUND IN ACCORDANCE WITH THE ACCURACY STANDARDS OF A CLASS A-2 SURVEY.
- 2) THIS MAP AND SURVEY WERE PREPARED FOR WEST HARTFORD FELLOWSHIP HOUSING TO BE USED IN MATTERS THAT RELATE TO A LOT COMBINATION. USE OF THIS MAP FOR OTHER PURPOSES OR BY OTHER PARTIES IS NOT AUTHORIZED OR VALID.
- 3) NO DECLARATION IS EXPRESSED OR IMPLIED BY THIS MAP OR COPIES THEREOF UNLESS IT BEARS THE IMPRESSION TYPE SEAL AND ORIGINAL LIVE SEAL AND ORIGINAL LIVE SIGNATURE OF THE SURVEYOR WHOSE NAME AND REGISTRATION NUMBER APPEAR BELOW ANY CHANGES MADE TO THIS PLAN WITHOUT THE KNOWLEDGE OF THE SIGNERS INVALIDATES THESE DECLARATIONS.

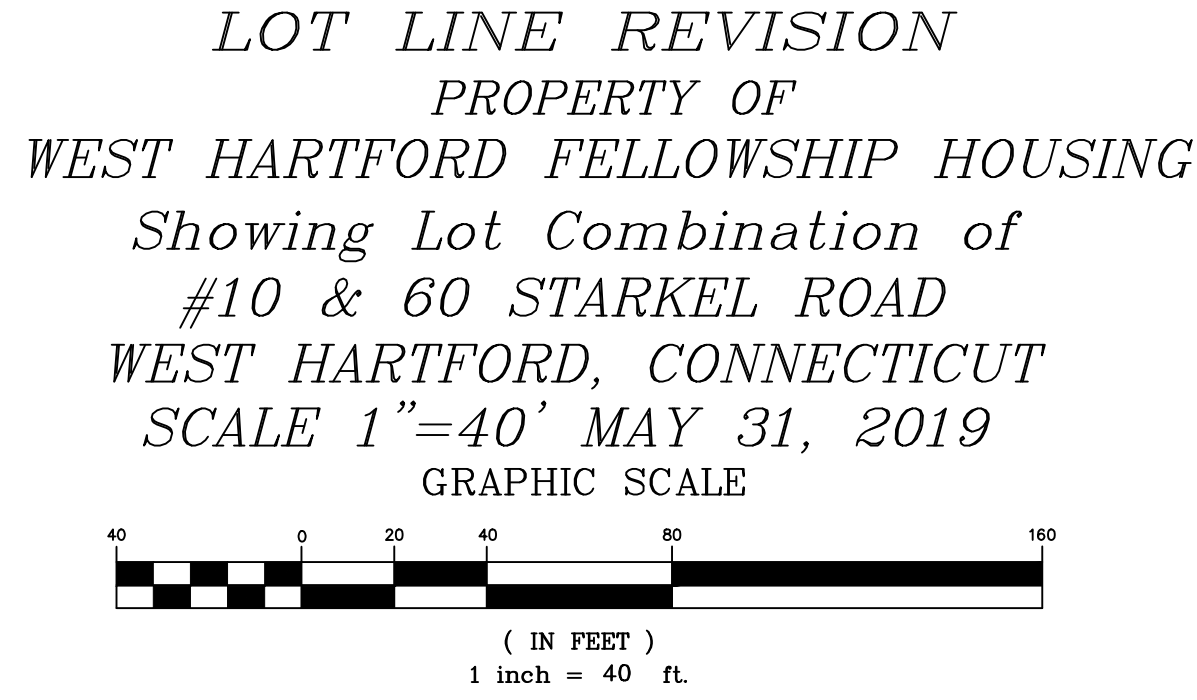
TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

PETER D. FLYNN CT.L.L.S. #8792 DATE  
KENNETH R. CYR CT.L.L.S. #70116  
NOT VALID UNLESS ORIGINAL SIGNATURE, LIVE STAMP, & RAISED SEAL ARE AFFIXED.

FLYNN & CYR LAND SURVEYING, LLC  
1204 FARMINGTON AVE. 06033-1686  
BERLIN, CONNECTICUT 06037

| REGULATIONS FOR SDD OVERLAY ZONE |             |                         |                        |                            |
|----------------------------------|-------------|-------------------------|------------------------|----------------------------|
| ITEM                             | REQUIRED    | EXISTING                | EXISTING               | PROPOSED                   |
| MIN. LOT AREA                    | 12,750 S.F. | 10 Starkel 374,522 S.F. | 60 Starkel 19,243 S.F. | 10-60 Starkel 393,765 S.F. |
| MIN. LOT WIDTH                   | 85'         | 499.25'                 | 71.56' *               | 570'                       |
| MIN. FRONT YARD Starkel Rd.      | 25'         | 25.9'                   | 25.0'                  | 25.0'                      |
| MIN. FRONT YARD King Philip Dr.  | 25'         | 32.3'                   | N.A.                   | 32.3'                      |
| MIN. SIDE YARD                   | 10'         | 27.8'                   | 0' *                   | 3.0' *                     |
| MIN. REAR YARD                   | 35'         | 2.78' *                 | 35.4'                  | 54.8'                      |
| MAX. BLDG. HEIGHT                | 2.5 sty/30' | 2 sty/20'               | 2.5 sty/41' *          | 2.5 sty/41' *              |
| MAX. COVERAGE                    | 30%         | 19% *                   | N.A.                   | 18.2%                      |

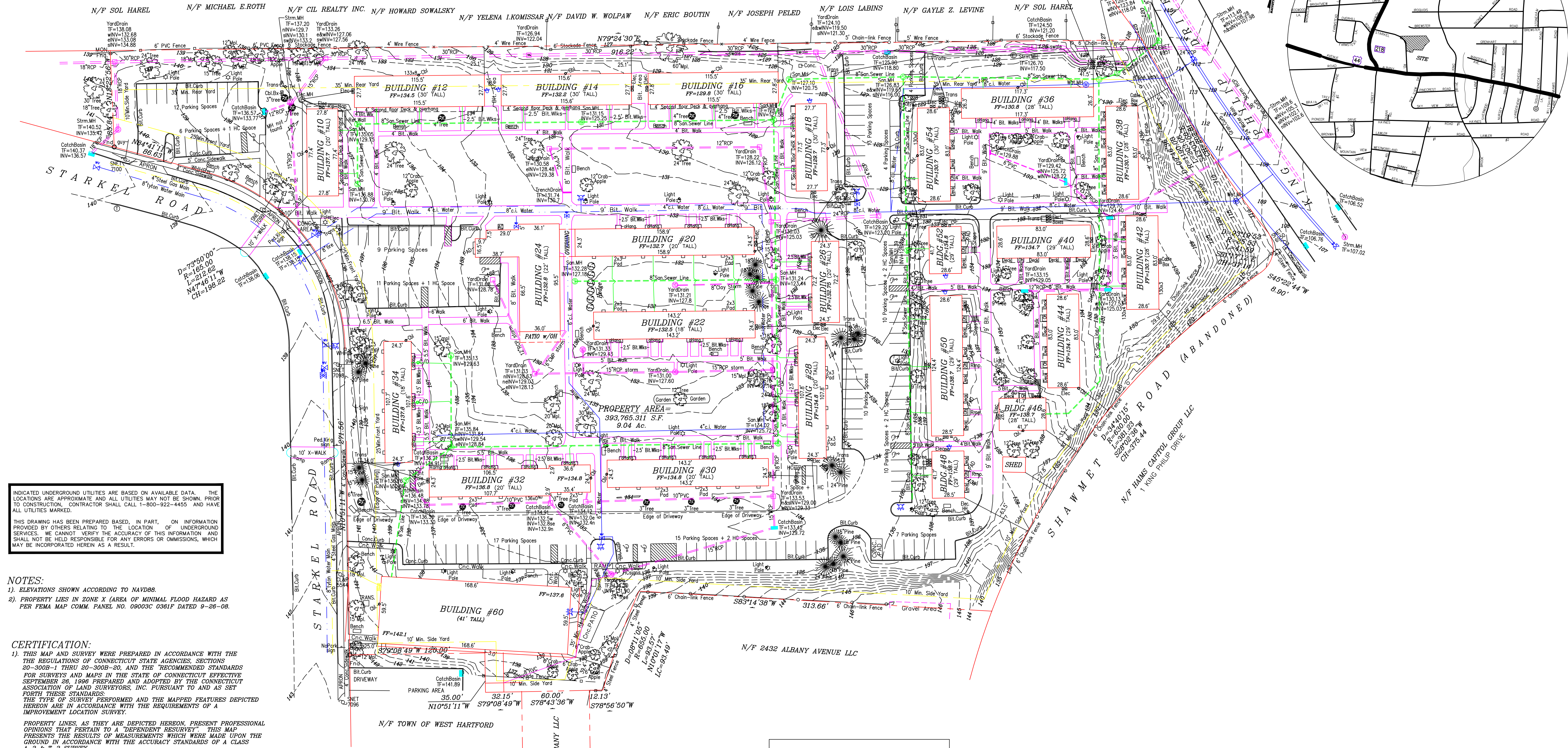
\*NON-CONFORMING BUT PRE-EXISTING CONDITION.





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- 2) TOWN OF WEST HARTFORD DIVISION OF ENGINEERING. FELLOWSHIP HOUSING STARKEL ROAD AS BUILT, WEST HARTFORD CT. SCALE 1"=20'. JOB No. 58-89. DATED NOV. '89. REVISED 8-13-92 & 9-28-92. MAP 5361 W.HTFD. TOWN CLERK.
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- NOTES:
- 1) ELEVATIONS SHOWN ACCORDING TO NAVD88.
  - 2) PROPERTY LIES IN ZONE X (AREA OF MINIMAL FLOOD HAZARD AS PER FEMA MAP COMM. PANEL NO. 09003C 0361F DATED 9-26-08.

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  - 2) THIS MAP AND SURVEY WERE PREPARED FOR WEST HARTFORD FELLOWSHIP HOUSING TO BE USED IN MATTERS THAT RELATE TO EXISTING CONDITIONS. USE OF THIS MAP FOR OTHER PURPOSES OR BY OTHER PARTIES IS NOT AUTHORIZED OR VALID.
  - 3) NO DECLARATION IS EXPRESSED OR IMPLIED BY THIS MAP OR COPIES THEREOF UNLESS IT BEARS THE IMPRESSION TYPE SEAL AND ORIGINAL LIVE SEAL AND ORIGINAL LIVE SIGNATURE OF THE SURVEYOR WHOSE NAME AND REGISTRATION NUMBER APPEAR BELOW. ANY CHANGES MADE TO THIS PLAN WITHOUT THE KNOWLEDGE OF THE SIGNERS INVALIDATES THESE DECLARATIONS.

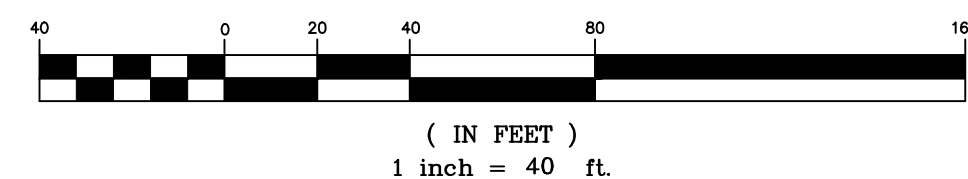
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PETER D. FLYNN CT.L.L.S. #8792 DATE  
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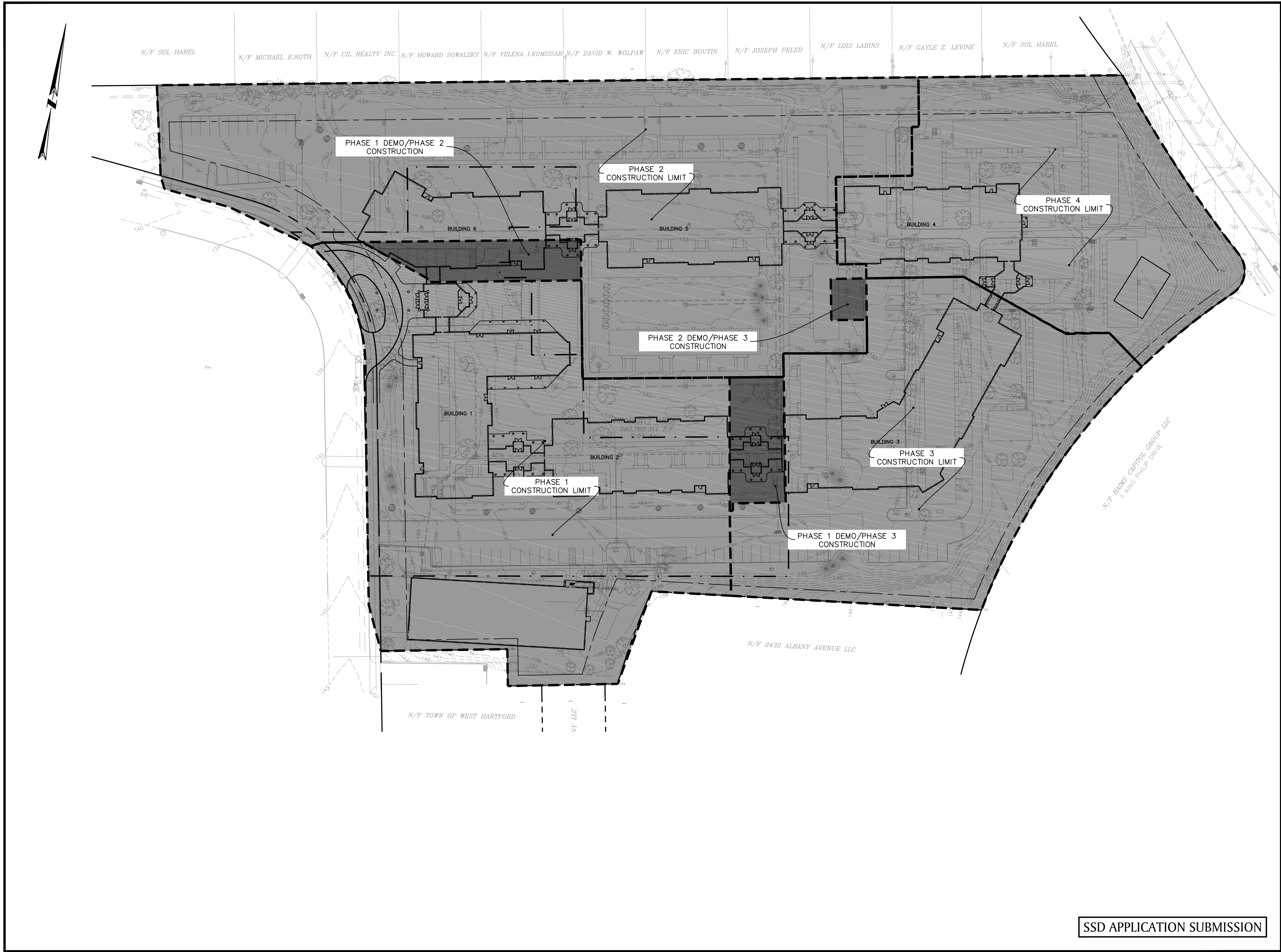
FLYNN & CYR LAND SURVEYING, LLC  
1204 FARMINGTON AVE. 860-888-7886  
BERLIN, CONNECTICUT 06037

| REGULATIONS FOR R-13 ZONE |             |              |
|---------------------------|-------------|--------------|
| ITEM                      | REQUIRED    | EXISTING     |
| MIN. LOT AREA/UNIT        | 12,750 S.F. | 393,765 S.F. |
| MIN. LOT WIDTH            | 85'         | 271'         |
| MIN. LOT DEPTH            | 110'        | 313'         |
| MIN. FRONT YARD           | 25'         | 25.0'        |
| MIN. SIDE YARD            | 10'         | 3.0'         |
| MIN. REAR YARD            | 35'         | 25.1'        |
| MAX. BLDG. STY./HEIGHT    | 2.5/30'     | 2.5/41'      |
| MAX. COVERAGE             | 30%         | 18.2%        |

BOUNDARY & TOPOGRAPHC SURVEY  
PROPERTY OF  
WEST HARTFORD FELLOWSHIP HOUSING  
#10 & 60 STARKEL ROAD  
WEST HARTFORD, CONNECTICUT  
SCALE 1"=40' DEC. 21, 2018  
GRAPHIC SCALE







SSD APPLICATION SUBMISSION

WEST HARTFORD  
FELLOWSHIP  
HOUSING  
REDEVELOPMENT

10 & 60 STARKEL ROAD

IN  
WEST HARTFORD  
CONNECTICUT

CONSTRUCTION PHASING  
PLAN

MAY 31, 2019

|            |  |  |
|------------|--|--|
| REVISIONS: |  |  |
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PREPARED FOR:  
WEST HARTFORD FELLOWSHIP HOUSING  
10-60 STARKEL ROAD  
WEST HARTFORD, CT 06117

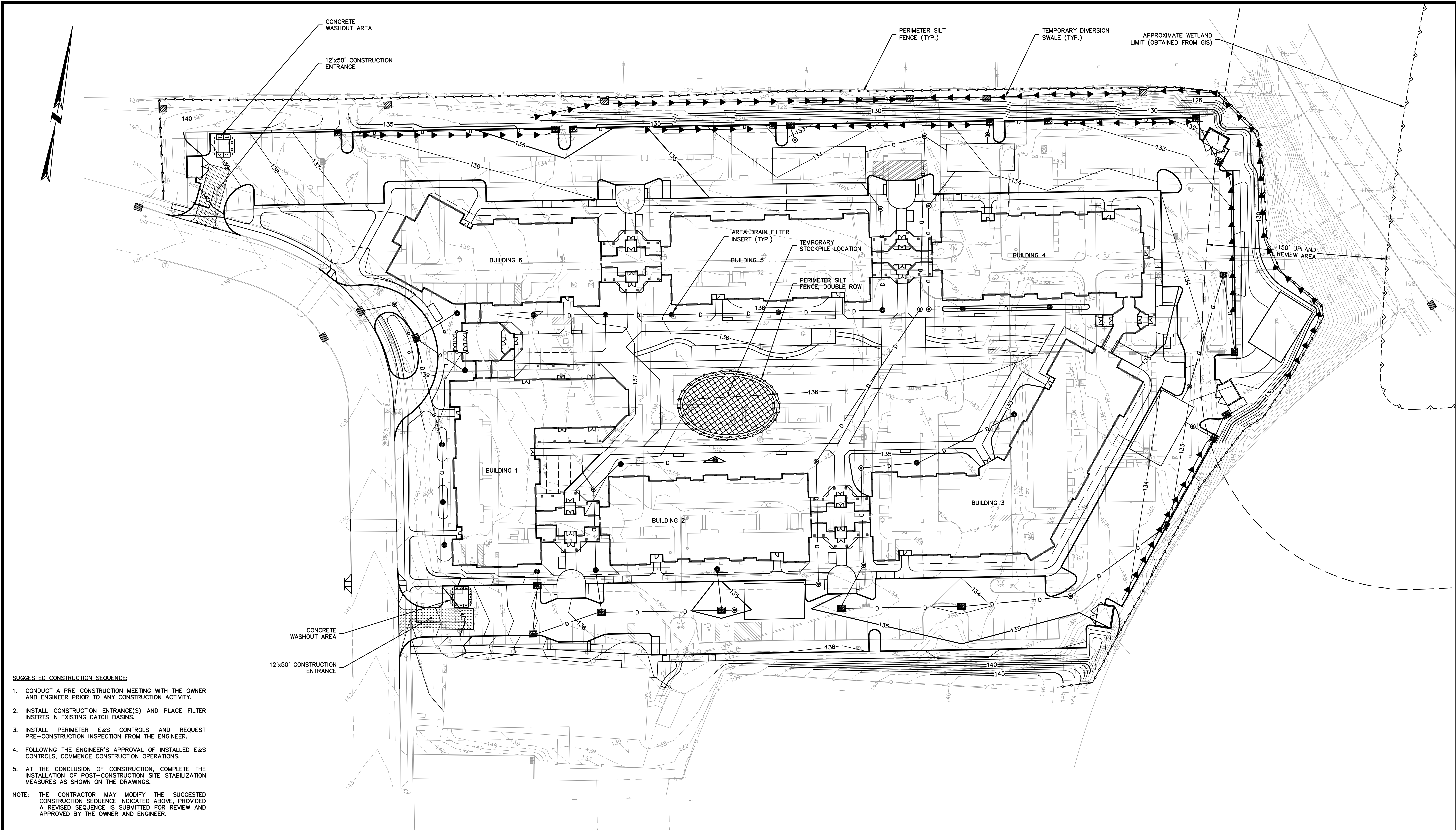
**BSC GROUP**  
300 Winding Brook Drive  
Glastonbury, Connecticut 06033  
860 652 8227

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SCALE: 1" = 40'  
0 20 40 80 FEET

FILE: 8373500-PHASE.DWG  
DWG. NO:  
JOB. NO: 83735.00

P-1.0





**SUGGESTED CONSTRUCTION SEQUENCE:**

1. CONDUCT A PRE-CONSTRUCTION MEETING WITH THE OWNER AND ENGINEER PRIOR TO ANY CONSTRUCTION ACTIVITY.
2. INSTALL CONSTRUCTION ENTRANCE(S) AND PLACE FILTER INSERTS IN EXISTING CATCH BASINS.
3. INSTALL PERIMETER E&S CONTROLS AND REQUEST PRE-CONSTRUCTION INSPECTION FROM THE ENGINEER.
4. FOLLOWING THE ENGINEER'S APPROVAL OF INSTALLED E&S CONTROLS, COMMENCE CONSTRUCTION OPERATIONS.
5. AT THE CONCLUSION OF CONSTRUCTION, COMPLETE THE INSTALLATION OF POST-CONSTRUCTION SITE STABILIZATION MEASURES AS SHOWN ON THE DRAWINGS.

NOTE: THE CONTRACTOR MAY MODIFY THE SUGGESTED CONSTRUCTION SEQUENCE INDICATED ABOVE, PROVIDED A REVISED SEQUENCE IS SUBMITTED FOR REVIEW AND APPROVED BY THE OWNER AND ENGINEER.

**NOTES:**

1. THIS PLAN IS FOR EROSION AND SEDIMENTATION (E&S) CONTROL ONLY. SEE OTHER PLANS FOR THE SCOPE OF CONSTRUCTION WORK.
2. THE E&S MEASURES SHOWN ON THIS PLAN ARE INTENDED TO BE IMPLEMENTED IN CONJUNCTION WITH THE PROJECT'S GENERAL PERMIT FOR THE DISCHARGE OF STORMWATER AND DEWATERING WASTEWATERS FROM CONSTRUCTION ACTIVITIES AND THE ASSOCIATED STORMWATER POLLUTION CONTROL PLAN (SWPCP).
3. DO NOT PROCEED WITH THE WORK UNTIL ALL E&S CONTROL MEASURES ARE IN-PLACE AND HAVE BEEN INSPECTED AND APPROVED BY THE ENGINEER.
4. THE MEASURES SPECIFIED HEREON ARE THE MINIMUM REQUIREMENTS FOR E&S CONTROL AND ARE SHOWN IN GENERAL SIZE AND LOCATION ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ALL E&S CONTROL MEASURES ARE CONFIGURED AND CONSTRUCTED IN A MANNER THAT WILL MINIMIZE EROSION OF SOILS AND PREVENT THE TRANSPORT OF SEDIMENTS AND OTHER POLLUTANTS TO ANY RESOURCE AREAS. PROVIDE ADDITIONAL E&S MEASURES AS REQUIRED TO CONTROL EROSION AND SILTATION THROUGHOUT THE DURATION OF THE CONSTRUCTION AS CONDITIONS DICTATE AND/OR AS DIRECTED BY THE OWNER OR THE ENGINEER.
5. IN ADDITION TO 'PLAN IMPLEMENTATION INSPECTIONS' AND 'ROUTINE INSPECTIONS' THAT MAY BE ASSOCIATED WITH THE 'GENERAL PERMIT FOR THE DISCHARGE OF STORMWATER AND DEWATERING WASTEWATERS FROM CONSTRUCTION ACTIVITIES', THE CONTRACTOR SHALL MONITOR AND INSPECT ALL E&S MEASURES IN AN ONGOING MANNER THROUGHOUT THE WORK AND TAKE CORRECTIVE MEASURES, AS REQUIRED, TO MINIMIZE EROSION OF SOILS AND PREVENT THE TRANSPORT OF SEDIMENTS AND OTHER POLLUTANTS TO ANY RESOURCE AREAS.
6. MONITOR AND INSPECT ALL E&S MEASURES IN AN ONGOING MANNER THROUGHOUT THE WORK AND TAKE CORRECTIVE MEASURES, AS REQUIRED, TO MINIMIZE EROSION OF SOILS AND PREVENT THE TRANSPORT OF SEDIMENTS AND OTHER POLLUTANTS TO ANY RESOURCE AREAS.
7. ANY EROSION AND SEDIMENTATION MEASURE IMPLEMENTED BEYOND THAT SHOWN HEREON SHALL CONFORM TO APPLICABLE SECTIONS OF THE STATE OF CONNECTICUT'S 2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL."
8. ANY STOCKPILED MATERIAL SHALL BE SUBJECT TO EROSION CONTROL MEASURES THAT INCLUDE A MINIMUM OF SILT FENCE OR HAY BALE BARRIER, COVER STOCKPILES IF SIGNIFICANT RAINFALL IS PREDICTED.

9. PROVIDE TEMPORARY SEEDING WITH MULCH ON ALL EXPOSED SOIL AREAS WHERE WORK WILL BE SUSPENDED FOR LONGER THAN 30 DAYS. APPLY SEED AND MULCH WITHIN THE FIRST 7 DAYS OF SUSPENDING WORK. WHEN SEEDING IS NOT POSSIBLE DUE TO SEASONAL WEATHER CONDITIONS OR OTHER FACTORS, PROVIDE TEMPORARY STRUCTURAL SOIL PROTECTION SUCH AS MULCH, WOODCHIPS, EROSION CONTROL MATTING, OR COMPOST.
10. ALL TEMPORARY SLOPES IN EXCESS OF 3 (HORIZONTAL) TO 1 (VERTICAL) SHALL BE STABILIZED WITH EROSION CONTROL MATTING OR APPROVED EQUIVALENT.
11. NO RUNOFF SHALL BE ALLOWED TO ENTER ANY STORMWATER SYSTEM OR EXIT THE SITE PRIOR TO TREATMENT FOR SEDIMENT REMOVAL.
12. THE CONTRACTOR SHALL MAINTAIN A CLEAN CONSTRUCTION SITE AND SHALL NOT ALLOW THE ACCUMULATION OF RUBBISH OR CONSTRUCTION DEBRIS. ALL TRASH SHALL BE CLEANED ON A DAILY BASIS AND THE SITE SHALL BE LEFT IN A NEAT CONDITION AT THE END OF EACH WORK DAY.
13. TAKE ALL NECESSARY PRECAUTIONS TO AVOID THE SPILLAGE OF FUEL OR OTHER POLLUTANTS AND ADHERE TO ALL APPLICABLE POLICIES AND REGULATIONS RELATED TO SPILL PREVENTION, CONTROL, AND RESPONSE.
14. FOR DUST CONTROL, PERIODICALLY MOISTEN EXPOSED SOIL SURFACES WITH WATER AND MAINTAIN ADEQUATE MOISTURE LEVELS.
15. SWEEP ADJACENT ROADWAYS IF MUD OR SOIL IS TRACKED ON TO THEM, OR AS DIRECTED BY THE ENGINEER. SHOULD THE CONSTRUCTION ENTRANCE FAIL TO PREVENT THE TRACKING OF SOILS OR SEDIMENT OFF OF THE PROJECT SITE, A WASHING RACK SHALL BE INSTALLED ALONG WITH APPROPRIATE MEASURES TO COLLECT RESULTING WASTEWATER.
16. DRAINAGE STRUCTURE FILTER INSERTS SHALL BE INSTALLED AND CLEANED/CHANGED PER THE MANUFACTURER'S RECOMMENDATIONS. UNITS SHALL BE INSTALLED COMPLETELY AROUND INLETS OF EXISTING AND PROPOSED DRAINAGE STRUCTURES SUCH THAT NO RUNOFF IS ALLOWED TO ENTER DRAINAGE SYSTEMS WITHOUT FILTERING THROUGH THE DEVICE.

**E&S MEASURE**

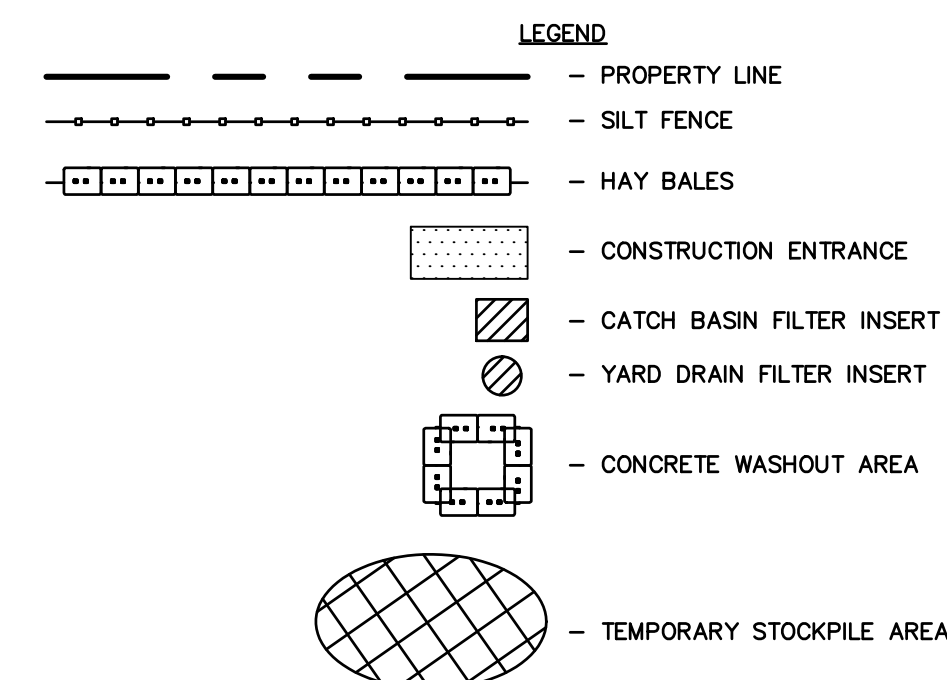
- FILTER INSERTS IN DRAINAGE SYSTEM
- TEMPORARY SEDIMENT TRAPS
- TEMPORARY DIVERSION SWALES
- HAY BALES/ SILT FENCE BARRIER
- TARP TEMPORARY STOCKPILES
- CONSTRUCTION ENTRANCE
- MOISTEN EXPOSED SOILS

**TEMPORARY E&S MEASURES MAINTENANCE SCHEDULE**

- CLEAN CATCH BASIN GRATE, REMOVE SEDIMENT/DEBRIS FROM FILTER INSERTS
- CHECK AND REPAIR STONE OUTLET, CLEAN WHEN HALF FULL OF SEDIMENT (DEWATER IF NECESSARY), RESTORE TRAP TO ORIGINAL DIMENSIONS
- REPAIR DAMAGED AREAS WITHIN 24 HRS OF OBSERVED FAILURE
- REPAIR/REPLACE WHEN FAILURE OBSERVED, REMOVE SILT WHEN ACCUMULATION REACHES APPROX. HALF HEIGHT OF BARRIER
- ENSURE TARP IS SECURED OVER STOCKPILE AT THE END OF EACH DAY
- SWEEP PAVED ROADWAY ADJACENT TO SITE ENTRANCE AS NECESSARY, REFRESH STONE AS NECESSARY, REMOVE SILTED GRAVEL
- PERIODICALLY MOISTEN EXPOSED SOIL SURFACES WITH WATER ON UNPAVED TRAVELWAYS AND KEEP TRAVELWAYS DAMP

**SCHEDULE**

- WEEKLY & WITHIN 24 HOURS AFTER STORM GENERATING A DISCHARGE
- WEEKLY & WITHIN 24 HOURS AFTER STORM GENERATING A DISCHARGE
- WEEKLY & WITHIN 24 HOURS AFTER STORM GENERATING A DISCHARGE
- WEEKLY & WITHIN 24 HOURS AFTER STORM GENERATING A DISCHARGE
- DAILY
- WEEKLY
- DAILY



**SSD APPLICATION SUBMISSION**

**WEST HARTFORD FELLOWSHIP HOUSING REDEVELOPMENT**

10 & 60 STARKEL ROAD

IN  
WEST HARTFORD CONNECTICUT

EROSION &  
SEDIMENTATION  
CONTROL PLAN

MAY 31, 2019

**REVISIONS:**

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PREPARED FOR:  
WEST HARTFORD FELLOWSHIP HOUSING  
10-60 STARKEL ROAD  
WEST HARTFORD, CT 06117

**BSC GROUP**  
300 Winding Brook Drive  
Glastonbury, Connecticut 06033  
860 652 8227

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SCALE: 1" = 40'  
0 20 40 80 FEET

FILE: 8373500-ES.DWG  
DWG. NO:  
JOB. NO: 83735.00  
**C-1.0**



WEST HARTFORD  
FELLOWSHIP  
HOUSING  
REDEVELOPMENT

10 & 60 STARKEL ROAD

IN  
WEST HARTFORD  
CONNECTICUT

LAYOUT & MATERIALS  
PLAN

MAY 31, 2019

REVISIONS:

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PREPARED FOR:  
WEST HARTFORD FELLOWSHIP HOUSING  
10-60 STARKEL ROAD  
WEST HARTFORD, CT 06117

**BSC GROUP**  
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0 20 40 80 FEET  
FILE: 8373500-LM.DWG  
DWG. NO:  
JOB. NO: 83735.00  
**C-2.0**

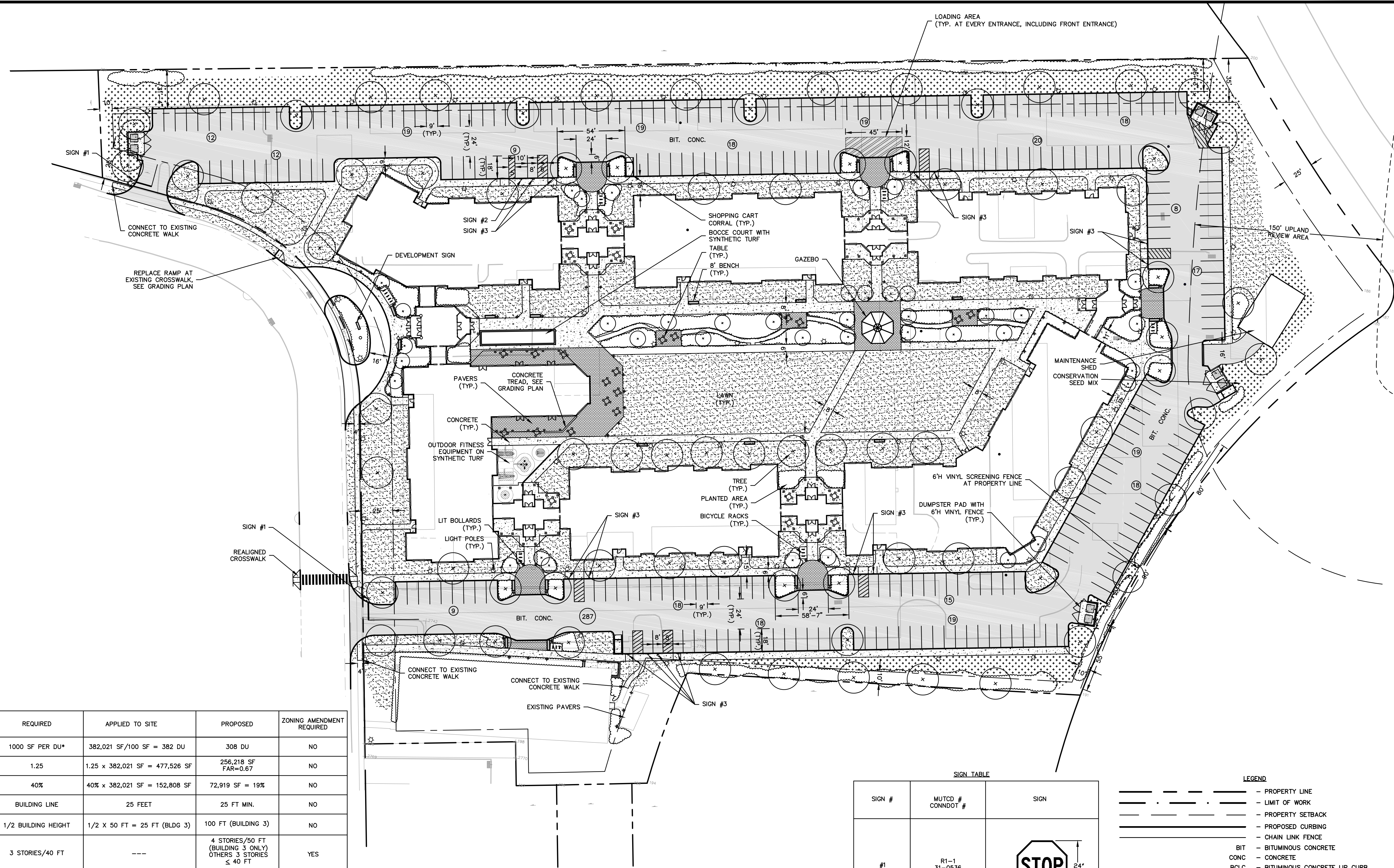
ZONING TABLE

| ZONE RM-1                            | REQUIRED   | APPLIED TO SITE                      | PROPOSED  | ZONING AMENDMENT REQUIRED |
|--------------------------------------|--|--------------------------------------|---|---------------------------|
| ALLOWABLE HOUSING DENSITY            | 1000 SF PER DU*                                  | 382,021 SF/100 SF = 382 DU           | 308 DU  | NO                        |
| MINIMUM FLOOR AREA RATIO (SF)        | 1.25   | 1.25 x 382,021 SF = 477,526 SF       | 256,218 SF<br>FAR=0.67  | NO                        |
| MAXIMUM BUILDING COVERAGE            | 40%  | 40% x 382,021 SF = 152,808 SF        | 72,919 SF = 19%   | NO                        |
| MINIMUM FRONT SETBACK (FT)           | BUILDING LINE                                    | 25 FEET                              | 25 FT MIN.  | NO                        |
| MINIMUM SIDE/REAR SETBACK(FT)        | 1/2 BUILDING HEIGHT                              | 1/2 X 50 FT = 25 FT (BLDG 3)         | 100 FT (BUILDING 3)   | NO                        |
| MAXIMUM BUILDING HEIGHT              | 3 STORIES/40 FT                                  | ---                                  | 4 STORIES/50 FT<br>(BUILDING 3 ONLY)<br>OTHERS 3 STORIES<br>≤ 40 FT                                 | YES                       |
| MAXIMUM BUILDING LENGTH              | 250 FT   | ---                                  | 285 FT (BLDG 3 ONLY)<br>OTHERS ±100 FT PER<br>SECTION   | YES                       |
| USABLE OPEN SPACE PER DU             | 200 SF PER DU                                    | 308 DU X 200 SF= 61,600 SF           | 82 UNITS (BLDG 3 ONLY)<br>OTHERS ±40 PER<br>BUILDING SECTION  | YES                       |
| MAXIMUM NUMBER OF UNITS PER BUILDING | 40   | ---                                  | X   | YES                       |
| MAXIMUM DISTANCE BETWEEN BUILDINGS   | WITH NO WINDOWS = 50 FT<br>WITH WINDOWS = 100 FT | ---                                  | WITH NO WINDOWS = NA<br>WITH WINDOWS = 50 FT<br>EXCEPT 35 FT BETWEEN<br>HOUSING & COMMUNITY<br>BLDG | YES                       |
| REQUIRED PARKING                     | 1.5 SPACE PER DU                                 | 1.5 X 308 = 462 SPACES               | 287 SPACES<br>(0.93 SP PER DU)  | YES<br>(SEE NOTE 1)       |
| REQUIRED SCREENING                   | TYPE C SCREENING                                 | ---                                  | SEE L-1.0   | NO                        |
| REQUIRED LOADING                     | 1 SPACE PER 100,000 SF                           | 382,021 SF/100,000 SF = 3.82 SPACES  | 6 PROVIDED  | NO                        |
| DEVELOPMENT SIGN                     | MAX. 12 SF / 15 FT<br>FROM STREET LINE           | ---                                  | 12 SF / 10 FEET FROM<br>STREETLINE  | YES                       |
| PARKING LOT TREES                    | 1 TREE PER 10 SPACES                             | 287 SPACES/10 SPACES =<br>28.7 TREES | 31 TREES IN PARKING   | NO                        |
| TREE CALIPER                         | 25% OF TREES 4" CALIPER                          | 88 TREES x 25% =                     | 22 TREES  | NO                        |

1. EXISTING PARKING IS 141 SPACES FOR 213 DWELLING UNITS = .66 SPACES PER DU  
\*DU = DWELLING UNITS

NOTES:

- THE LOCATIONS OF EXISTING SITE FEATURES AS SHOWN HAVE BEEN OBTAINED FROM MAPS, SURVEYS, FIELD INSPECTIONS, AND OTHER AVAILABLE INFORMATION. THEY MUST BE CONSIDERED APPROXIMATE BOTH TO LOCATION, SIZE, AND AS-BUILT CONDITION AND ARE PROVIDED FOR INFORMATIONAL PURPOSES ONLY.
- THE DIMENSIONS SHOWN ON THE PLANS, INCLUDING THE INTENDED DIMENSIONS OF THE WORK, MAY VARY FROM ACTUAL EXISTING CONDITIONS IN THE FIELD.
- THIS DRAWING IS INTENDED TO DEPICT THE LOCATION, LAYOUT, AND MATERIALS OF CONSTRUCTION AND IS INTENDED TO BE USED IN CONJUNCTION WITH THE DETAILS AND APPLICABLE SPECIFICATION SECTIONS.
- ALL CURBING IS CONCRETE UNLESS OTHERWISE INDICATED. WHERE CURBING IS CALLED-FOR ADJACENT TO SIDEWALKS, IT SHALL BE MONOLITHIC CONCRETE CURB AND SIDEWALK PER APPLICABLE DETAILS.
- THE CROSS-SLOPE OF ANY SIDEWALK, WALKWAY, OR OTHER PEDESTRIAN SURFACE SHALL NOT BE STEEPER THAN 1:48 (2%).
- ACCESSIBLE ROUTES SHALL COMPLY WITH CONNECTICUT BUILDING CODE. THE RUNNING SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1:20 (5%). THE CROSS SLOPE OF A WALKING SURFACE SHALL NOT BE STEEPER THAN 1:48 (2%).
- RAMPS SHALL COMPLY WITH CT BUILDING CODE, REF. 2012 IBC SECTION 1010 AND ICC/ANSI A117.1 2009 CHAPTER 4, SECTION 405.
- CONSTRUCTION JOINTS: REINFORCEMENT SHALL NOT CONTINUE THROUGH CONSTRUCTION JOINTS.
- ALL NON-ACCESSIBLE PARKING SPACES ARE 9' X 18'.
- DIMENSIONS INDICATED ARE TO FACE OF CURB, PAVEMENT EDGE, EDGE OR CENTERLINE OF IMPROVEMENT, OR AS OTHERWISE NOTED.
- UNLESS OTHERWISE INDICATED, LINES ARE PARALLEL OR PERPENDICULAR TO LINE FROM WHICH THEY ARE MEASURED.



SIGN TABLE

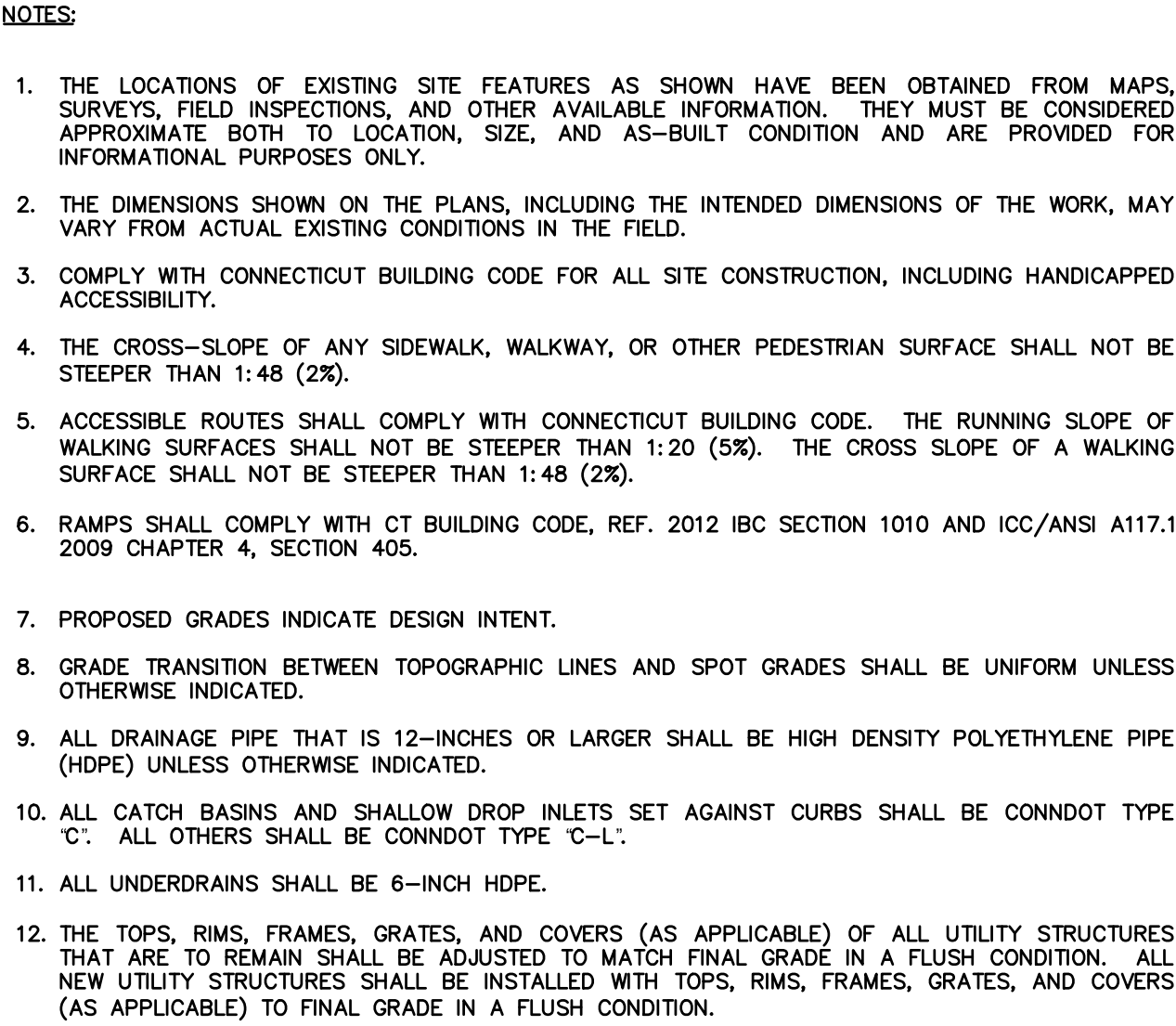
| SIGN # | MUTCD #<br>CONNOID #                 | SIGN   |
|--------|--------------------------------------|--|
| #1     | R1-1<br>31-0536                      | STOP   |
| #2     | NA<br>31-0629(P)                     | HANDICAPPED PARKING<br>STATE PERMIT<br>REQUIRED                      |
| #3     | NA<br>31-0629(P)<br>R7-8a<br>31-0648 | HANDICAPPED PARKING<br>STATE PERMIT<br>REQUIRED<br>VAN<br>ACCESSIBLE |

LEGEND













- PROPERTY LINE
- LIMIT OF WORK
- PROPERTY SETBACK
- PROPOSED CURBING
- CHAIN LINK FENCE
- BITUMINOUS CONCRETE
- CONCRETE
- BITUMINOUS CONCRETE LIP CURB
- MONOLITHIC CONCRETE CURB
- CONCRETE CURB
- EDGE OF PAVEMENT
- CURB RADIUS
- CURB LENGTH
- DETECTABLE WARNING
- CONCRETE UNIT PAVERS
- CONCRETE PAVEMENT
- BITUMINOUS CONCRETE PAVEMENT
- LAWN
- PLANTED AREA
- REINFORCED TURF
- RIPRAP STONE
- SITE BENCH

SSD APPLICATION SUBMISSION





1. THE LOCATIONS OF EXISTING SITE FEATURES AS SHOWN HAVE BEEN OBTAINED FROM MAPS, SURVEYS, FIELD INSPECTIONS, AND OTHER AVAILABLE INFORMATION. THEY MUST BE CONSIDERED APPROXIMATE BOTH TO LOCATION, SIZE, AND AS-BUILT CONDITION AND ARE PROVIDED FOR INFORMATIONAL PURPOSES ONLY.
2. THE DIMENSIONS SHOWN ON THE PLANS, INCLUDING THE INTENDED DIMENSIONS OF THE WORK, MAY VARY FROM ACTUAL EXISTING CONDITIONS IN THE FIELD.
3. COMPLY WITH CONNECTICUT BUILDING CODE FOR ALL SITE CONSTRUCTION, INCLUDING HANDICAPPED ACCESSIBILITY.
4. THE CROSS-SLOPE OF ANY SIDEWALK, WALKWAY, OR OTHER PEDESTRIAN SURFACE SHALL NOT BE STEEPER THAN 1:48 (2%).
5. ACCESSIBLE ROUTES SHALL COMPLY WITH CONNECTICUT BUILDING CODE. THE RUNNING SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1:20 (5%). THE CROSS SLOPE OF A WALKING SURFACE SHALL NOT BE STEEPER THAN 1:48 (2%).
6. RAMPS SHALL COMPLY WITH CT BUILDING CODE, REF. 2012 IBC SECTION 1010 AND ICC/ANSI A117.1: 2009 CHAPTER 4, SECTION 405.
7. PROPOSED GRADES INDICATE DESIGN INTENT.
8. GRADE TRANSITION BETWEEN TOPOGRAPHIC LINES AND SPOT GRADES SHALL BE UNIFORM UNLESS OTHERWISE INDICATED.
9. ALL DRAINAGE PIPE THAT IS 12-INCHES OR LARGER SHALL BE HIGH DENSITY POLYETHYLENE PIPE (HDPE) UNLESS OTHERWISE INDICATED.
10. ALL CATCH BASINS AND SHALLOW DROD INLETS SET AGAINST CURBS SHALL BE CONNDOT TYPE 'C'. ALL OTHERS SHALL BE CONNDOT TYPE 'C'-L.
11. ALL UNDERDRAINS SHALL BE 6-INCH HDPE.
12. THE TOPS, RIMS, FRAMES, GRATES, AND COVERS (AS APPLICABLE) OF ALL UTILITY STRUCTURES THAT ARE TO REMAIN SHALL BE ADJUSTED TO MATCH FINAL GRADE IN A FLUSH CONDITION. ALL NEW UTILITY STRUCTURES SHALL BE INSTALLED WITH TOPS, RIMS, FRAMES, GRATES, AND COVERS (AS APPLICABLE) TO FINAL GRADE IN A FLUSH CONDITION.

|   |                                |
|---|--------------------------------|
|  | - PROPERTY LINE                |
|  | - TOPOGRAPHY: MAJOR INTERVAL   |
|  | - TOPOGRAPHY: MINOR INTERVAL   |
|  | - TOPOGRAPHY: SPOT ELEVATION   |
|  | - STORM DRAINAGE PIPE          |
|  | - UNDERDRAIN                   |
|  | - ROOF LEADER                  |
|  | - DRAINAGE MANHOLE (DMH)       |
|  | - TYPE "C" CATCH BASIN (CB)    |
|  | - TYPE "C-L" CATCH BASIN (CBL) |
|  | - CONVERT CB TO DMH            |
|  | - YARD DRAIN (YD)              |

MAY 31, 2019

REVISIONS:

PREPARED FOR:  
WEST HARTFORD FELLOWSHIP HOUSING  
10-60 STARKEL ROAD  
WEST HARTFORD, CT 06117



300 Winding Brook Drive  
Glastonbury, Connecticut 06033  
860 652 8227

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SCALE: 1" = 40'



FILE: 8373500-GRDR.DWG

DWG. NO:

JOB. NO: 83735.00

### C-3.0



# WEST HARTFORD FELLOWSHIP HOUSING REDEVELOPMENT

10 & 60 STARKEL ROAD

IN  
WEST HARTFORD CONNECTICUT

DRAINAGE PLAN

MAY 31, 2019

REVISIONS:

PREPARED FOR:  
WEST HARTFORD FELLOWSHIP HOUSING  
10-60 STARKEL ROAD  
WEST HARTFORD, CT 06117

**BSC GROUP**  
300 Winding Brook Drive  
Glastonbury, Connecticut 06033  
860 652 8227

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SCALE: 1" = 40'

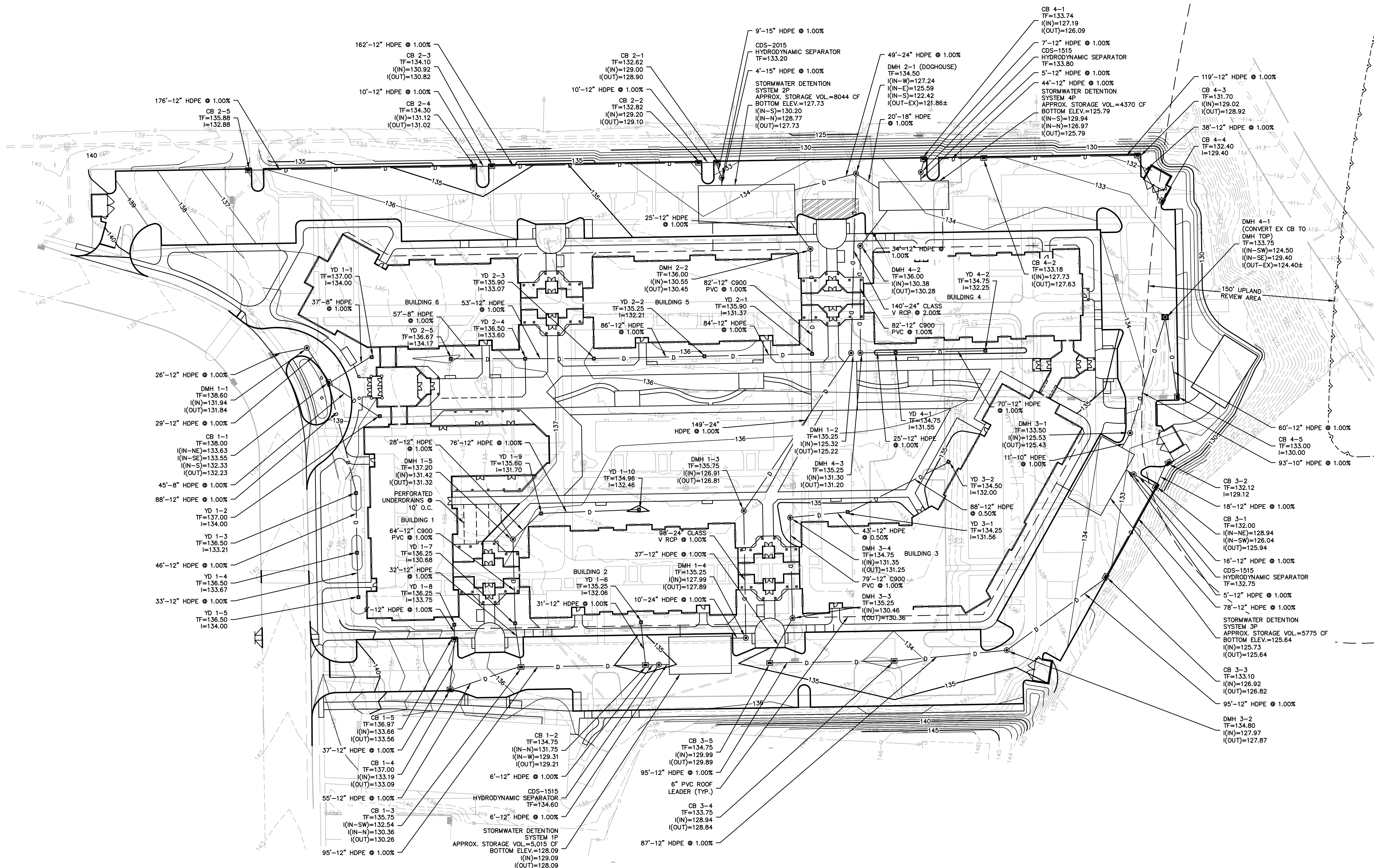
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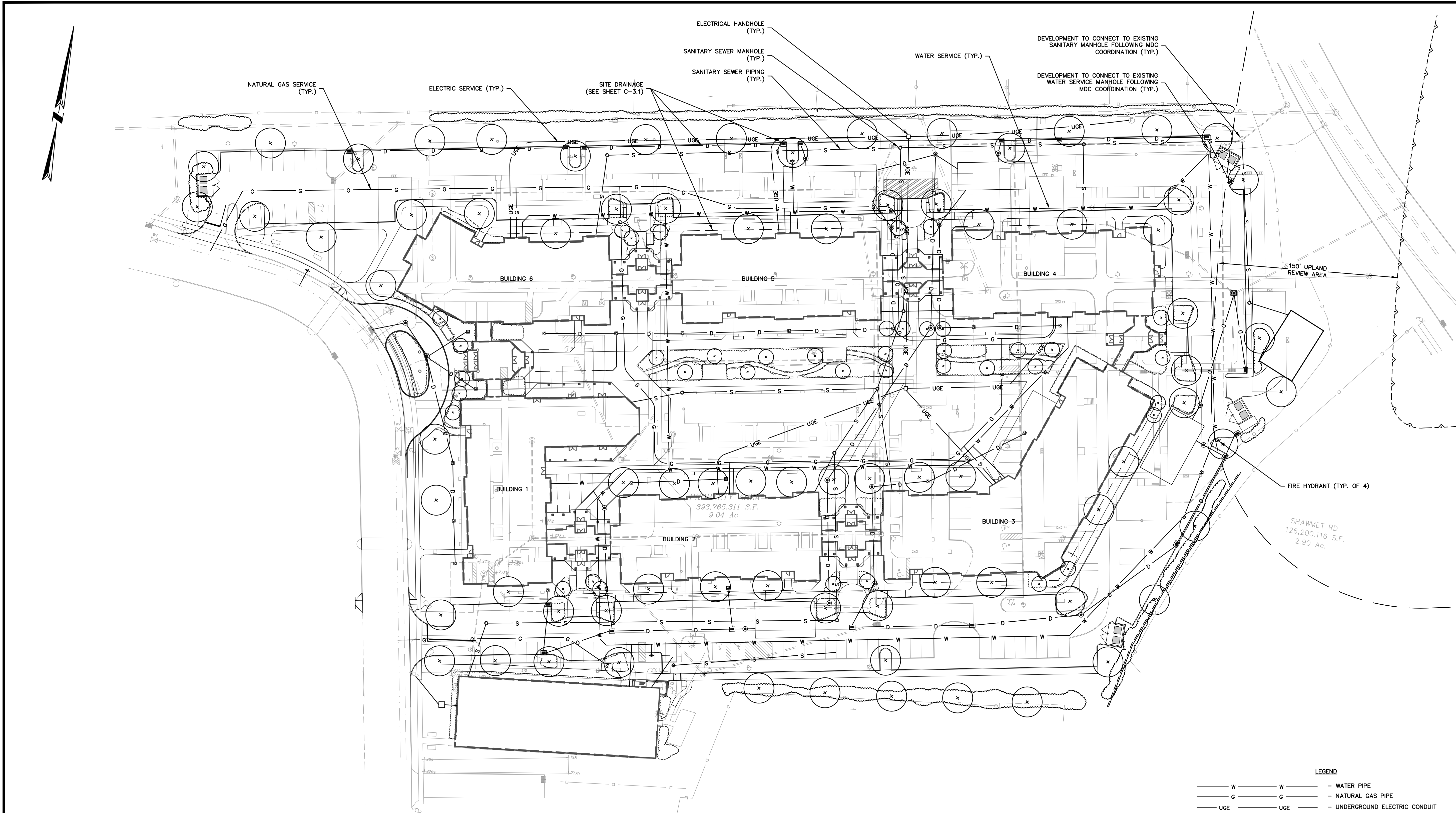
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JOB. NO: 83735.00

C-3.1







- NOTES:
1. THE LOCATIONS OF EXISTING UTILITIES AS SHOWN ON THE PLANS MAY VARY FROM ACTUAL EXISTING CONDITIONS IN THE FIELD. COORDINATE WITH RESPECTIVE UTILITY OWNERS AND PERFORM VERIFICATION OF TYPE, LOCATION AND INVERTS AS REQUIRED. VERIFY ALL TIE-IN POINTS, ROUTING, CONFLICTS, CROSSINGS, AND BUILDING CONNECTION POINTS TO FACILITATE THE COMPLETION OF THE WORK.
  2. THE TOPS, RIMS, FRAMES, GRATES, AND COVERS (AS APPLICABLE) OF ALL UTILITY STRUCTURES THAT ARE TO REMAIN SHALL BE ADJUSTED TO MATCH FINAL GRADE IN A FLUSH CONDITION. ALL NEW UTILITY STRUCTURES SHALL BE INSTALLED WITH TOPS, RIMS, FRAMES, GRATES, AND COVERS (AS APPLICABLE) TO FINAL GRADE IN A FLUSH CONDITION.
  3. ALL UNDERGROUND TELECOMMUNICATIONS AND ELECTRIC CONDUITS SHALL BE ENCASED IN CONCRETE EXCEPT BRANCH DISTRIBUTION FOR LIGHTING.
  4. ALL WORK ASSOCIATED WITH FIRE PROTECTION, DOMESTIC WATER, AND SANITARY SEWER SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE METROPOLITAN DISTRICT.
  5. ALL WORK ASSOCIATED WITH ELECTRICAL SERVICE SHALL CONFORM TO THE STANDARDS OF EVERSOURCE. IF THERE ARE ANY CONFLICTS BETWEEN THE REQUIREMENTS INDICATED HEREON AND EVERSOURCE STANDARDS, EVERSOURCE STANDARDS SHALL PREVAIL.
  6. LOCATIONS OF FIRE HYDRANTS AND UTILITY CONNECTIONS TO BUILDING SHOULD NOT CHANGE AS A RESULT OF THE PHASED CONSTRUCTION. HOWEVER, LOCATION OF UTILITIES ON THIS PLAN MAY BE SUBJECT TO CHANGE DUE TO UTILITY PROVIDER COORDINATION DURING EACH PHASE OF CONSTRUCTION. PLEASE SEE SHEET P-1.0 FOR PROJECT CONSTRUCTION PHASING.

- LEGEND
- |         |         |                                |
|---------|---------|--------------------------------|
| — W —   | — W —   | — WATER PIPE                   |
| — G —   | — G —   | — NATURAL GAS PIPE             |
| — UGE — | — UGE — | — UNDERGROUND ELECTRIC CONDUIT |
| — S —   | — S —   | — SANITARY SEWER PIPE          |
| ⊙       |         | — FIRE HYDRANT                 |
| □       |         | — ELECTRIC HANDHOLE            |
| ⊙       |         | — SANITARY MANHOLE (SMH)       |

SSD APPLICATION SUBMISSION

# WEST HARTFORD FELLOWSHIP HOUSING REDEVELOPMENT

10 & 60 STARKEL ROAD

IN  
WEST HARTFORD CONNECTICUT

## UTILITY PLAN

MAY 31, 2019

### REVISIONS:

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PREPARED FOR:  
WEST HARTFORD FELLOWSHIP HOUSING  
10-60 STARKEL ROAD  
WEST HARTFORD, CT 06117

**BSC GROUP**  
300 Winding Brook Drive  
Glastonbury, Connecticut 06033  
860 652 8227

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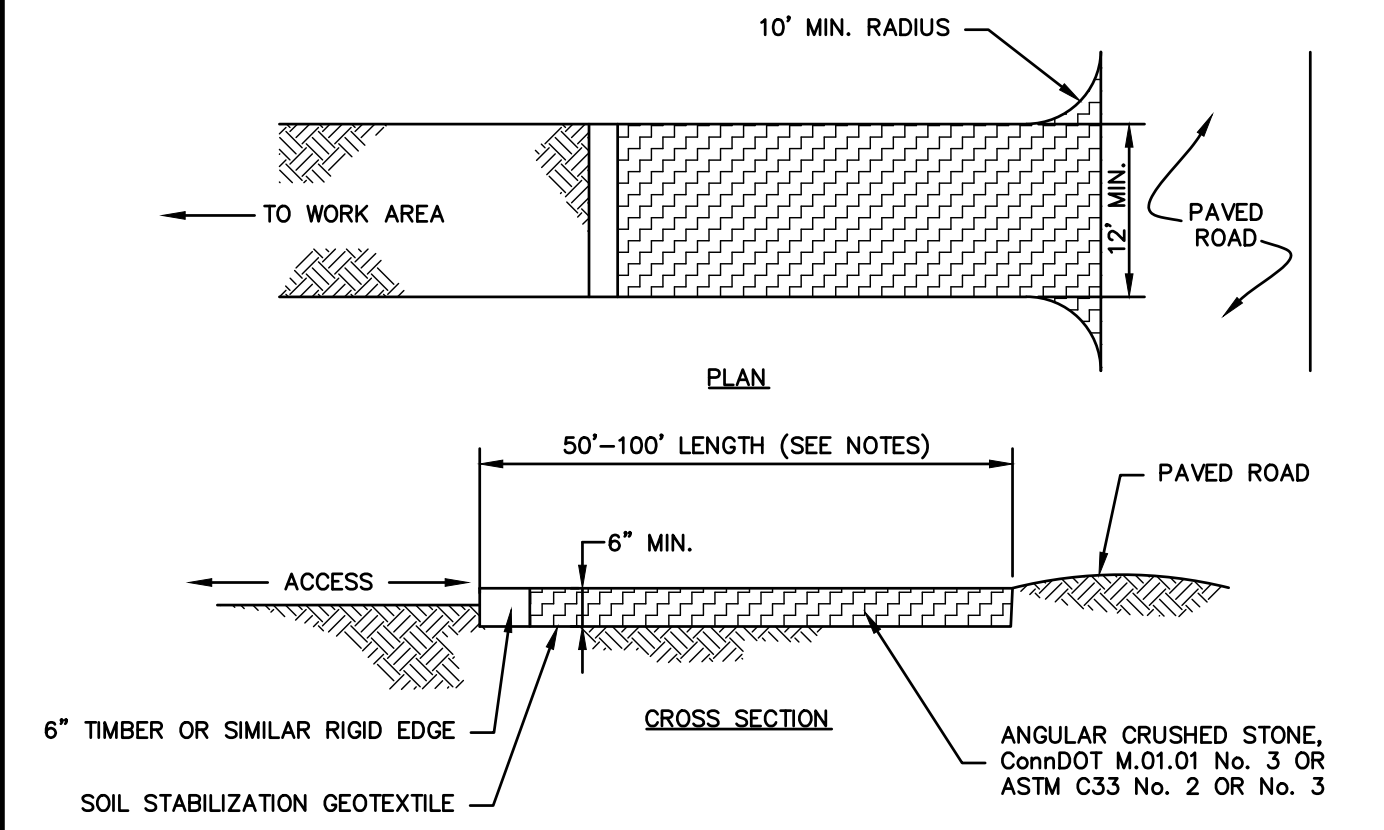
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JOB. NO: 83735.00

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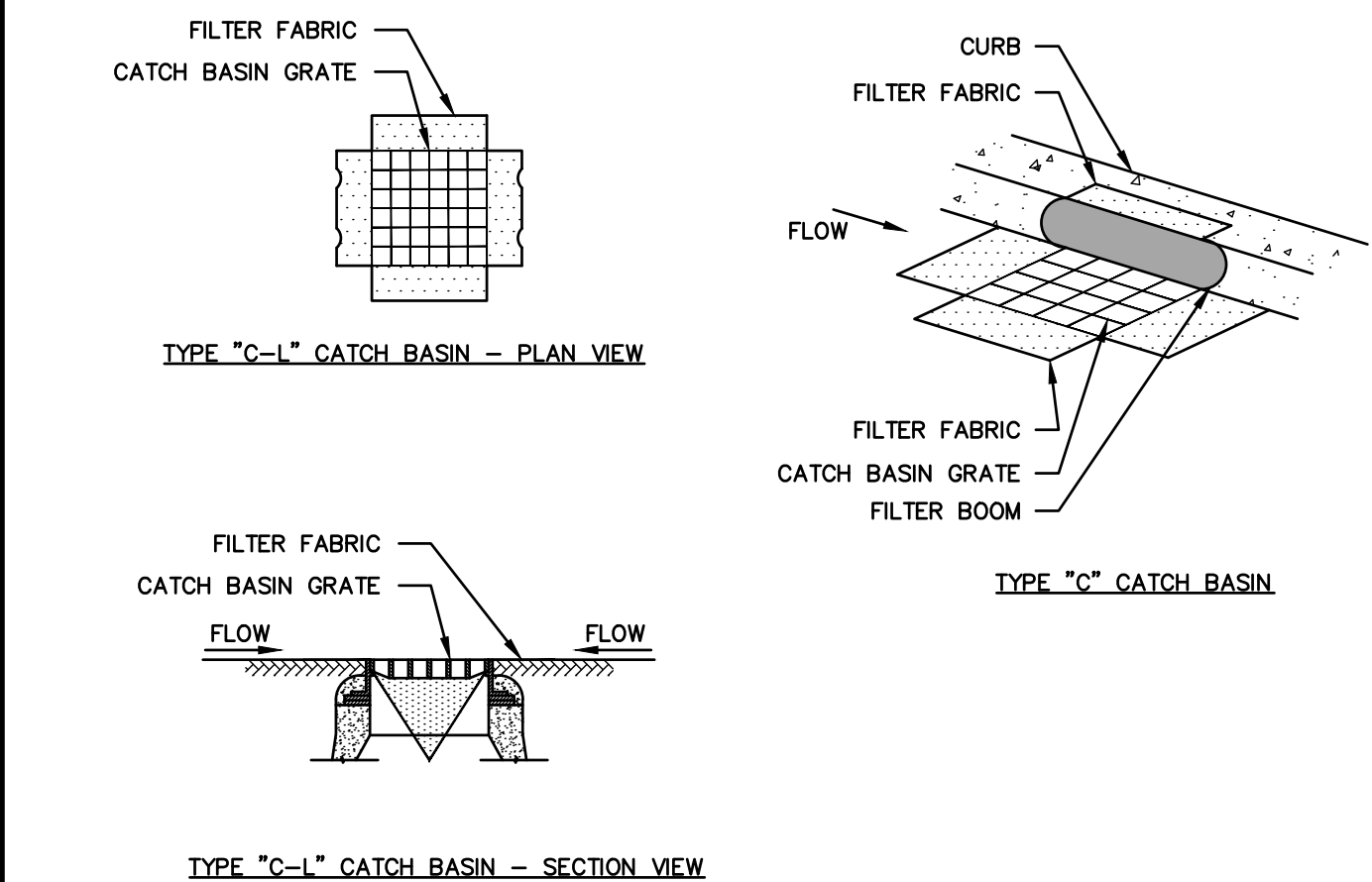




- NOTES:**
1. REMOVE TOPSOIL AND ORGANICS PRIOR TO CRUSHED STONE PLACEMENT.
  2. INSTALL SUB-BASE OF FREE DRAINING BACKFILL OR ROAD STABILIZATION GEOTEXTILE AS NECESSARY ON UNSTABLE SOILS.
  3. LENGTH SHALL BE 50 FOOT MINIMUM. WHERE TRACKED SEDIMENTS CONTAIN LESS THAN 80% SAND, LENGTH SHALL BE 100 FOOT MINIMUM.
  4. IF THE GRADE OF THE CONSTRUCTION ENTRANCE DRAINS TO THE PAVED SURFACE AND IT EXCEEDS 2% SLOPE, CONSTRUCT ENTRANCE AT LEAST 15 FEET FROM ITS ENTRANCE ONTO THE PAVED SURFACE WHILE DIVERTING RUN-OFF WATER TO A SETTLING OR FILTERING AREA.
  5. CONSTRUCT ANY DRAINAGE AND SETTLING FACILITIES REQUIRED TO ACCOMMODATE VEHICLE WASHING OPERATIONS. DIVERT ALL WASH WATER AWAY FROM ENTRANCE TO THE SETTLING AREA.
  6. MAINTAIN ENTRANCE IS A CONDITION THAT WILL PREVENT WASHING OF SEDIMENT ONTO PAVED SURFACES.

**CONSTRUCTION ENTRANCE**

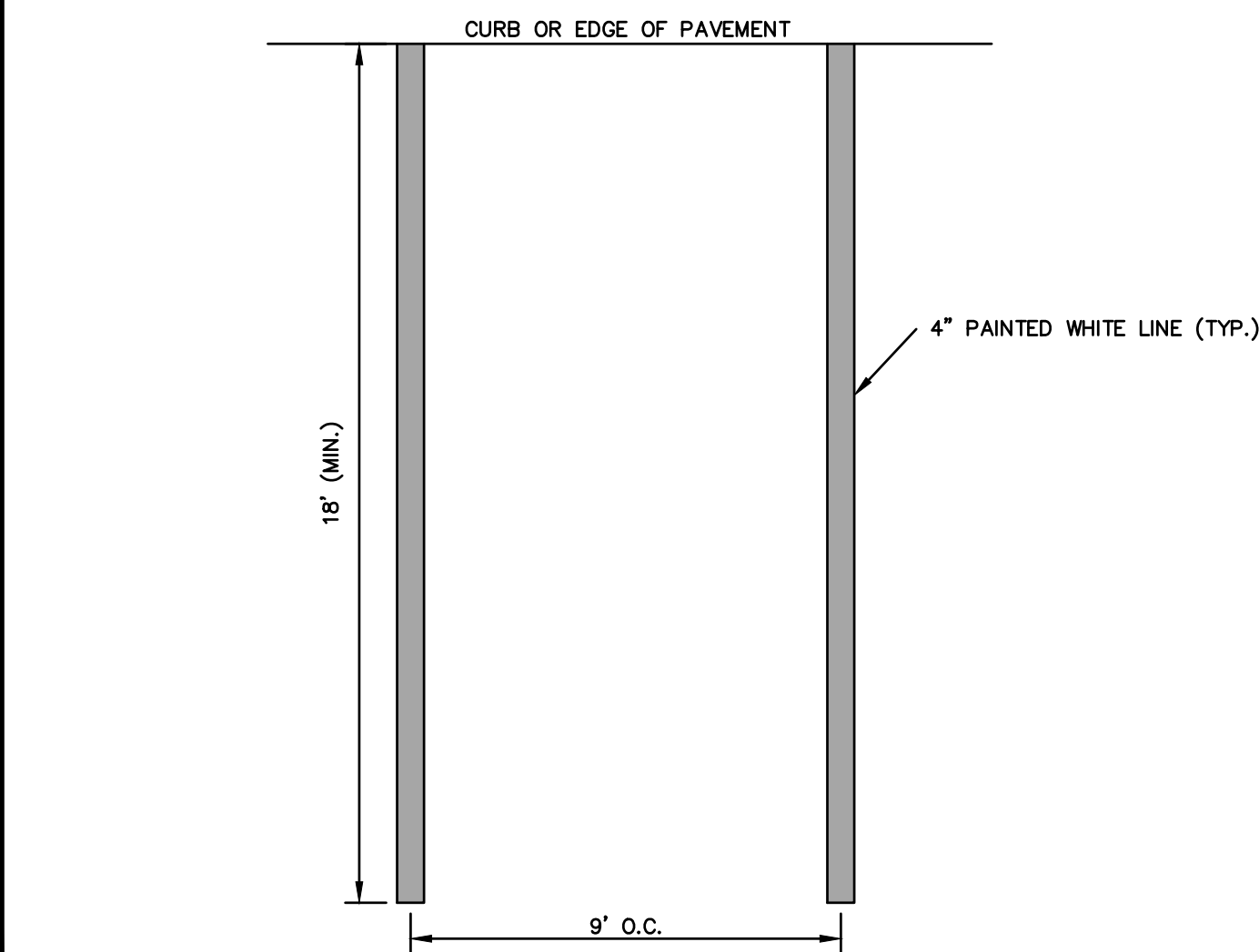
SCALE: NONE  
EC-101-CT



- GENERAL NOTES**
1. PROVIDE INLET PROTECTION TO ALL EXISTING CATCH BASINS IN THE VICINITY OF CONSTRUCTION. PROTECT NEW CATCH BASINS AS THEY ARE CONSTRUCTED.
  2. GRATE TO BE PLACED OVER FILTER FABRIC.

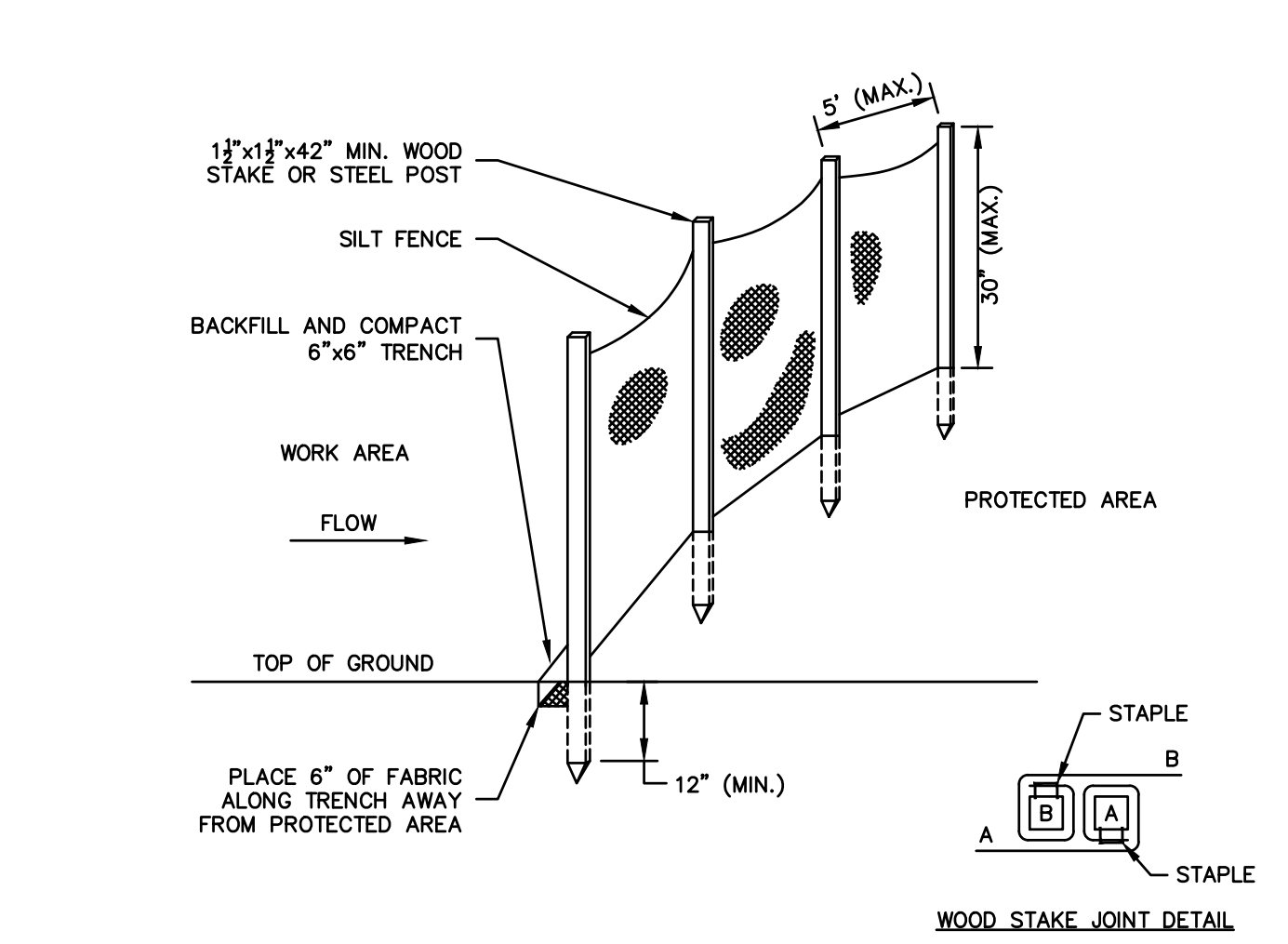
**CATCH BASIN FILTER SACK**

SCALE: NONE  
EC-104-CT



**STANDARD PAINTED PARKING MARKINGS**

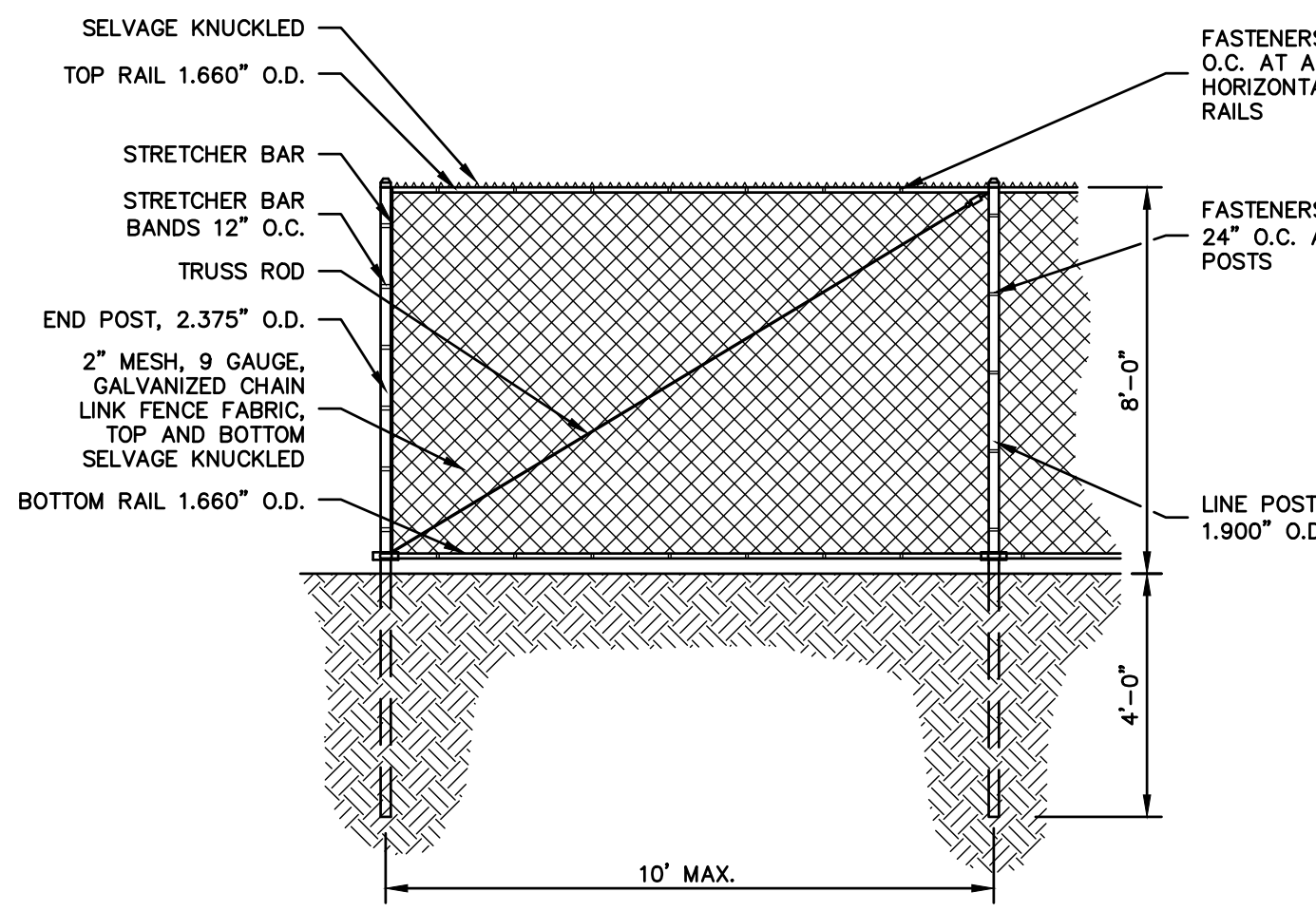
SCALE: NONE



- GENERAL NOTES**
1. FOR SLOPE & SWALE INSTALLATIONS, EXTEND FENCE UP SLOPE SUCH THAT BOTTOM ENDS OF FENCE WILL BE HIGHER THAN THE TOP OF THE LOWEST PORTION OF FENCE.
  2. FOR FENCE INSTALLED ON LEVEL TERRAIN INSTALL WING SECTIONS PERPENDICULAR TO MAIN BARRIER AT 50'-100' INTERVALS.

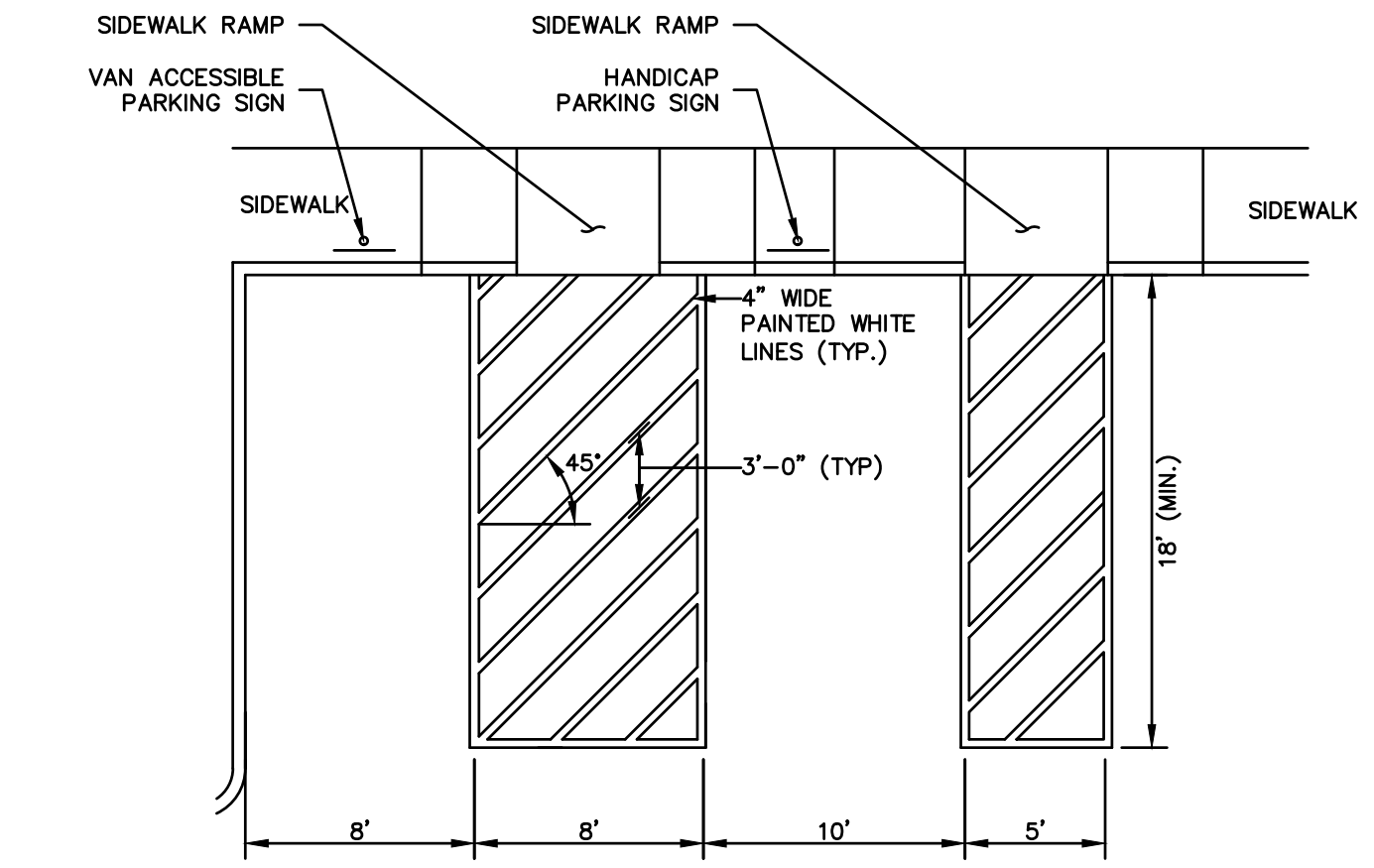
**SILT FENCE BARRIER**

SCALE: NONE  
EC-107



**CONSTRUCTION FENCE**

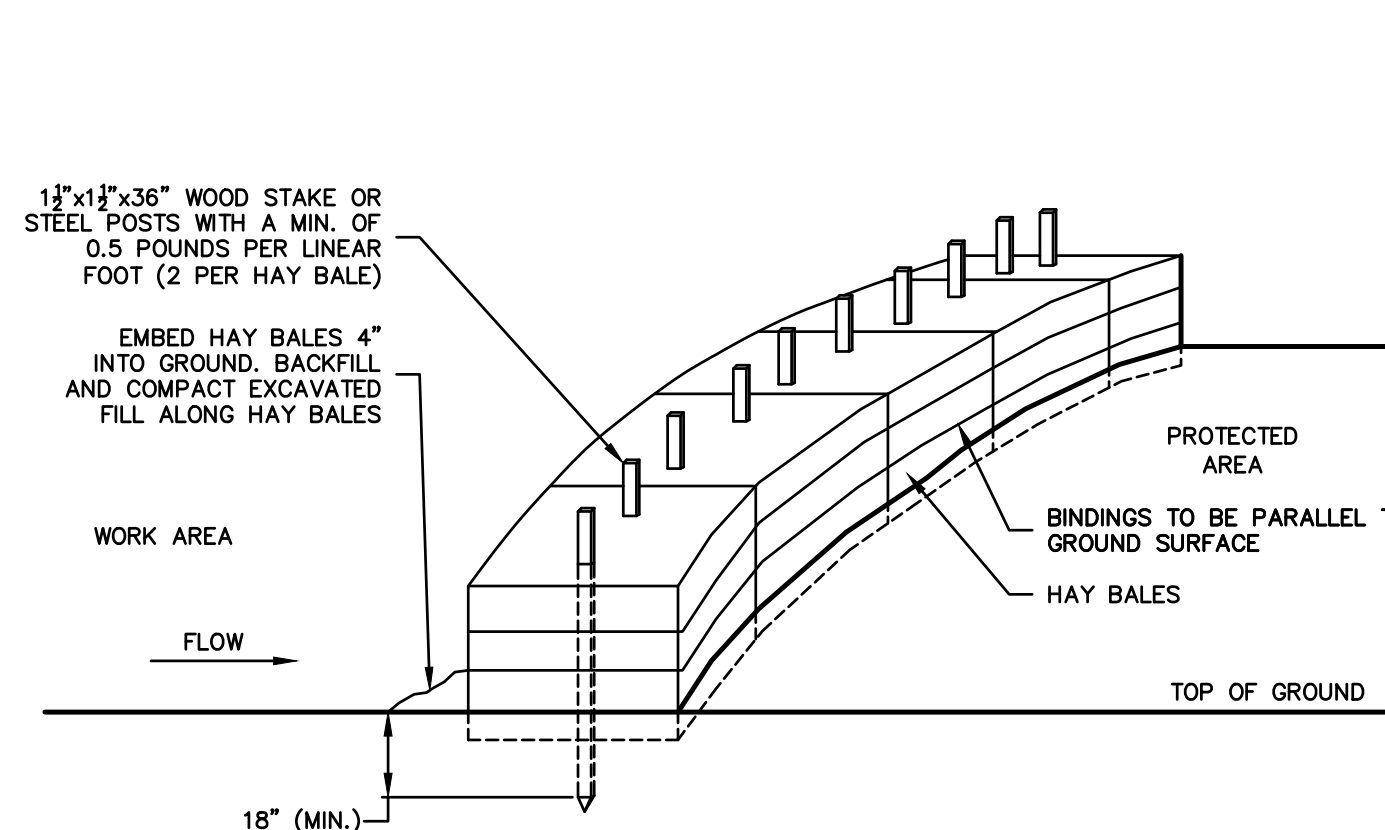
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FSN-104-CT



- GENERAL NOTE**
- GRADING WITHIN HANDICAP SPACES SHALL BE 2% MAX. IN ALL DIRECTIONS

**ACCESSIBLE PARKING SPACES**

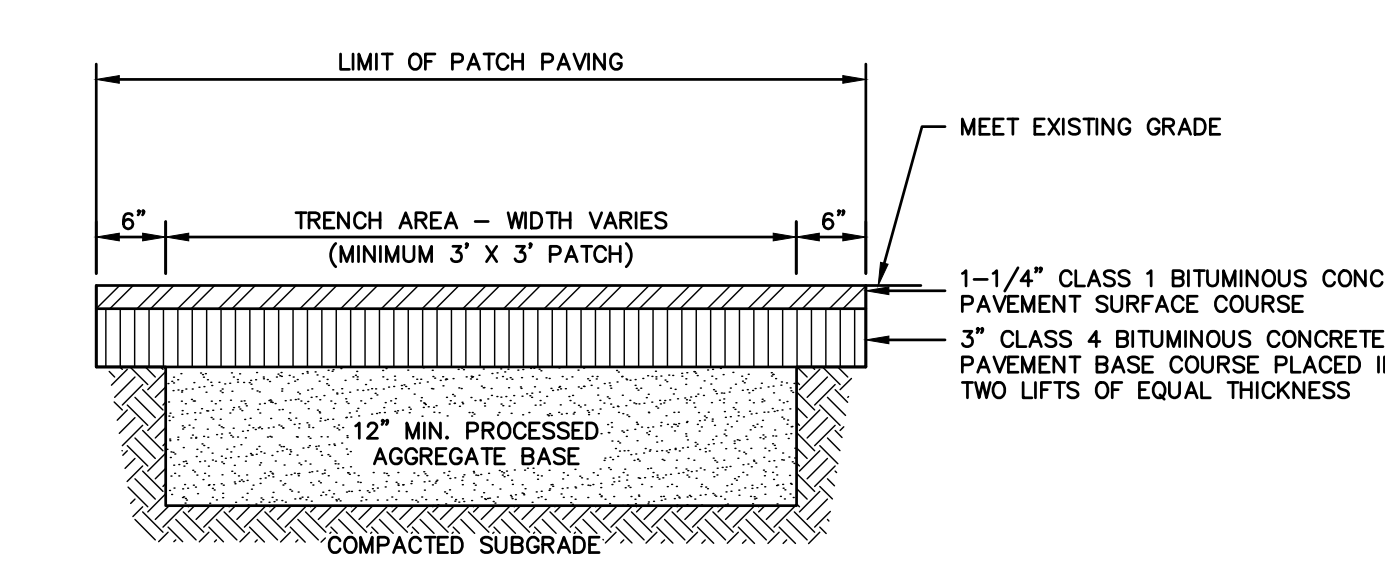
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HC-110-CT



- GENERAL NOTES**
1. HAY BALES SHALL BE MADE OF HAY OR STRAW WITH 40 POUND MIN. WEIGHT AND 120 POUND MAX. WEIGHT HELD TOGETHER BY TWINE OR WIRE.
  2. PLACE HAY BALES ON CONTOUR AND WING THE LAST HAY BALES UP SLOPE SO THAT THE TOP OF THE LAST SEVERAL HAY BALES ARE HIGHER THAN THE LINE OF HAY BALES.
  3. DRIVE FIRST STAKE IN EACH BALE TOWARD THE PREVIOUSLY LAID BALE TO FORCE THEM TOGETHER.
  4. PUT ONE HAY BALE PERPENDICULAR ALONG HAY BALE BARRIER EACH 100 FEET.

**HAY BALE BARRIER**

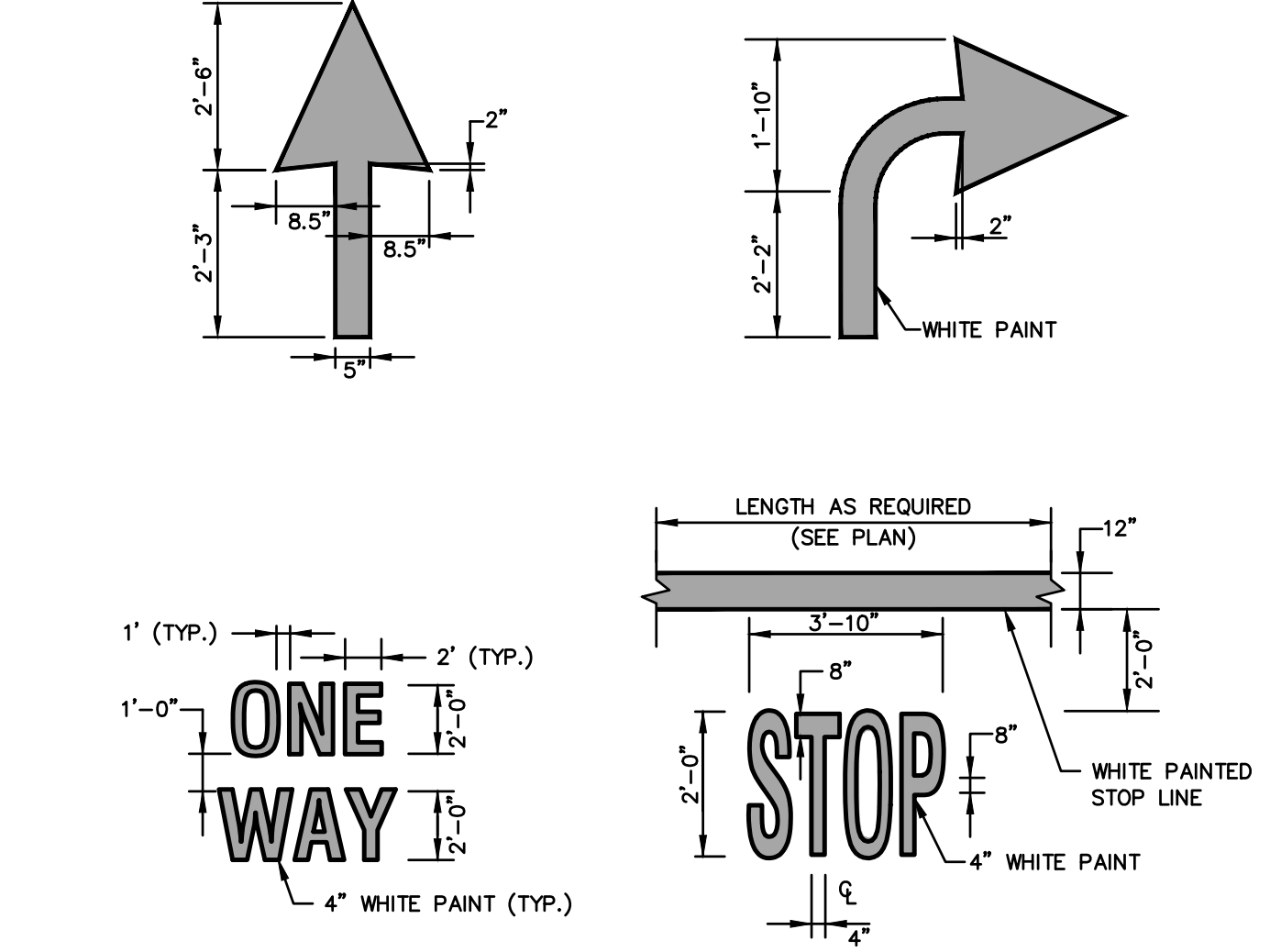
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EC-106-CT



- GENERAL NOTES**
1. PAVEMENT TO BE SAW CUT
  2. JOINT TO BE PROPERLY SEALED

**PAVEMENT PATCH**

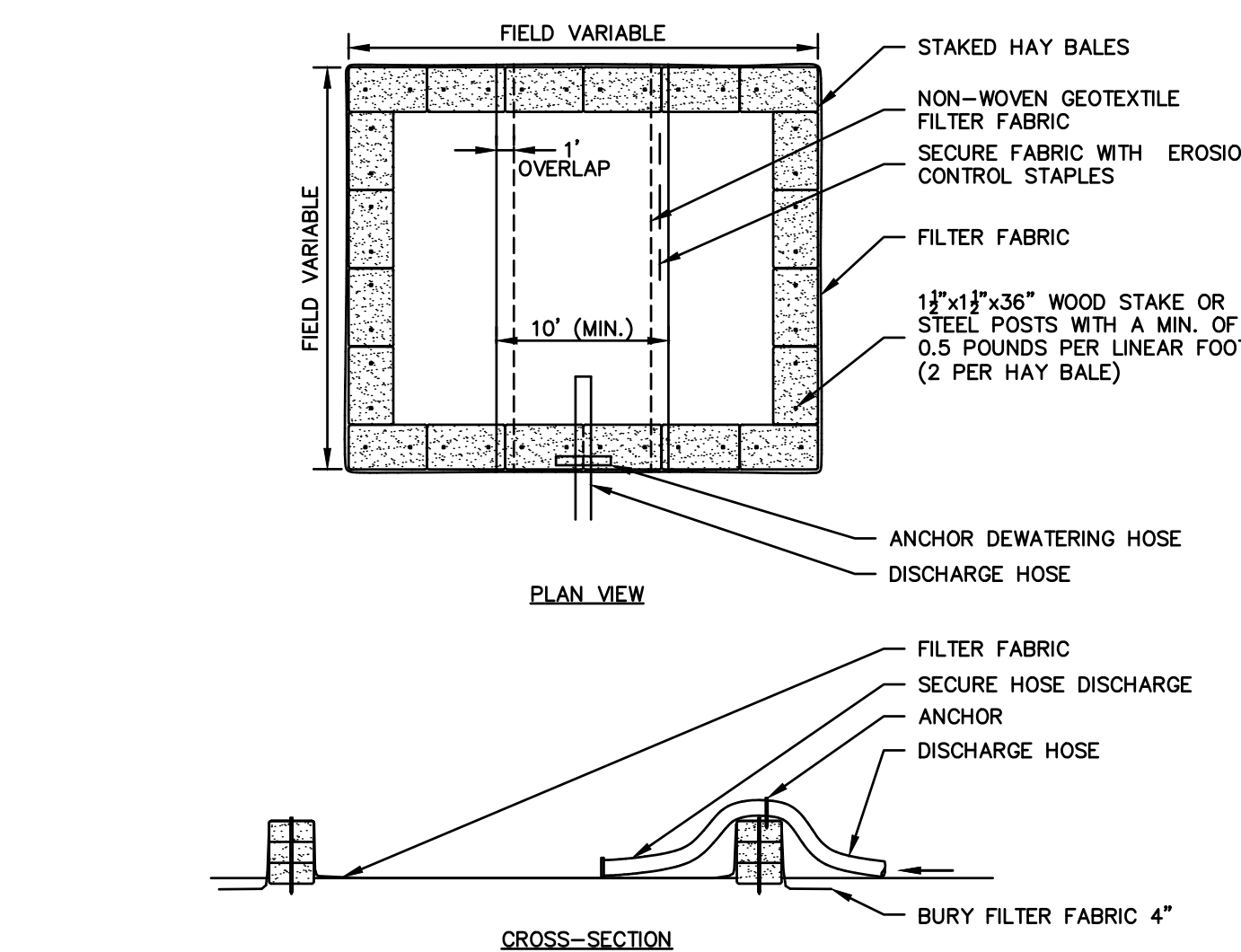
SCALE: NONE  
PVT-108-CT



- NOTES:**
1. PAVEMENT MARKINGS SHOWN SHALL NOT BE INSTALLED ON PUBLIC ROADWAYS.

**PAINTED PAVEMENT MARKINGS**

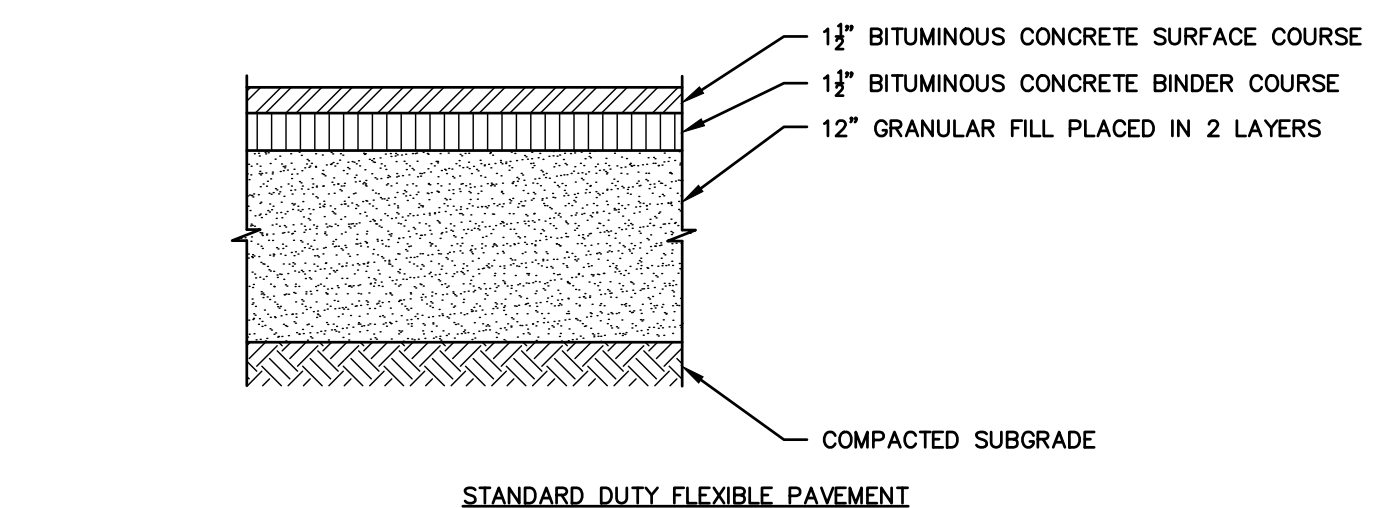
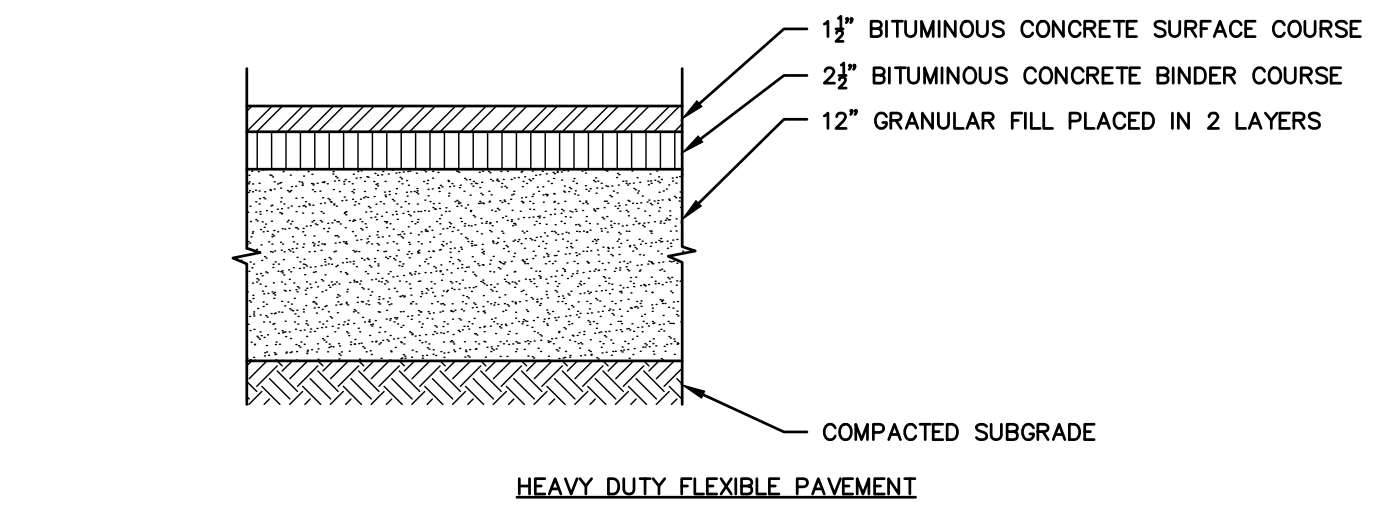
SCALE: NONE



- GENERAL NOTES**
1. NUMBER OF BALES MAY VARY DEPENDING ON SITE CONDITIONS.
  2. THE BASIN TO BE SIZED ACCORDING TO: CUBIC FEET OF STORAGE = PUMP DISCHARGE RATE(gpm) x 16.
  3. SIZE SHOWN ON PLANS SHALL BE ADJUSTED AS REQUIRED FOR THE ACTUAL PUMPING RATE.

**DEWATERING HAY BALE BASIN (TYPE 1)**

SCALE: NONE  
EC-114-CT



**BITUMINOUS CONCRETE PAVEMENT SECTIONS**

SCALE: NONE  
PVT-101-CT

**WEST HARTFORD FELLOWSHIP HOUSING REDEVELOPMENT**

10 & 60 STARKEL ROAD

IN  
WEST HARTFORD CONNECTICUT

**DETAILS**

MAY 31, 2019

REVISIONS:

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PREPARED FOR:  
WEST HARTFORD FELLOWSHIP HOUSING  
10-60 STARKEL ROAD  
WEST HARTFORD, CT 06117

**BSC GROUP**  
300 Winding Brook Drive  
Glastonbury, Connecticut 06033  
860 652 8227

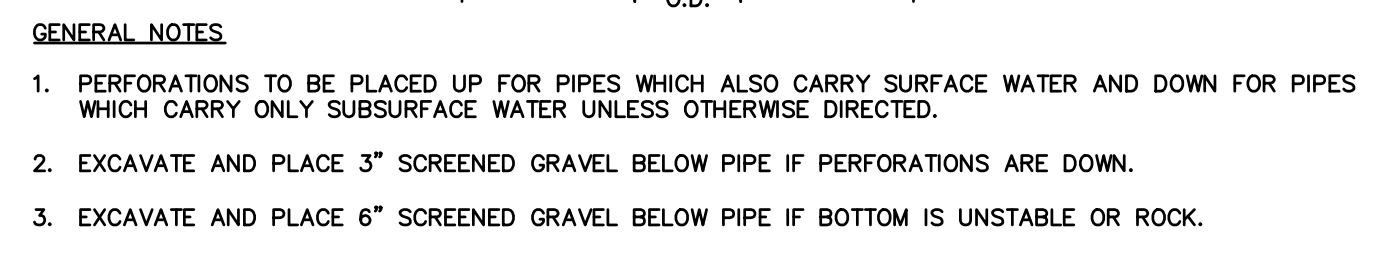
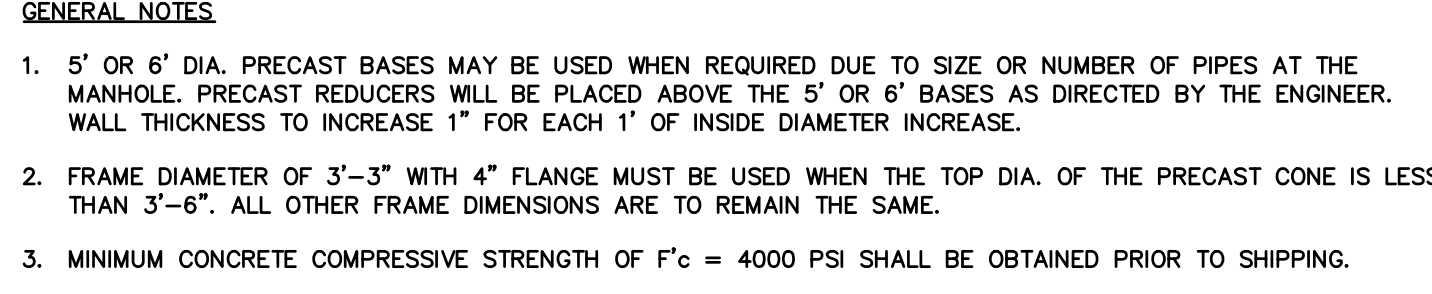
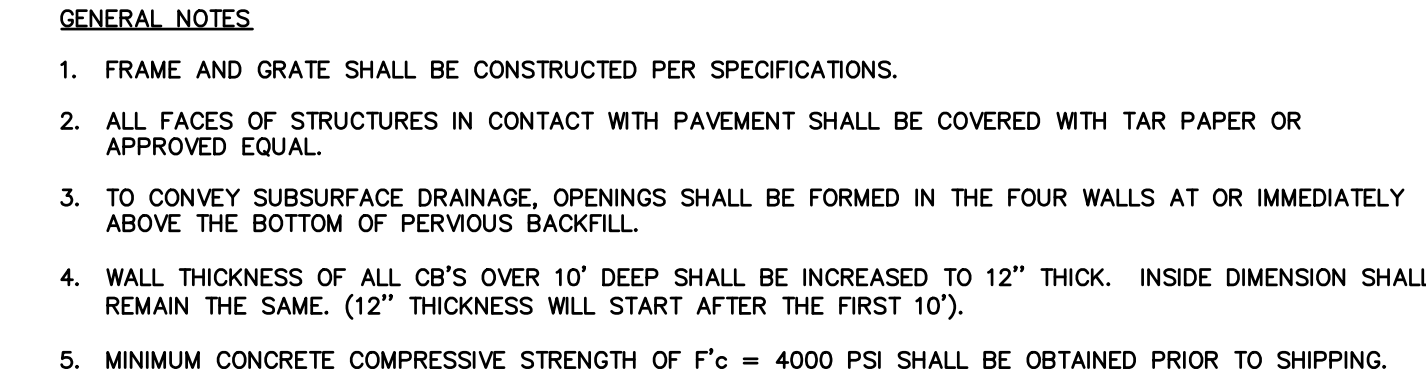
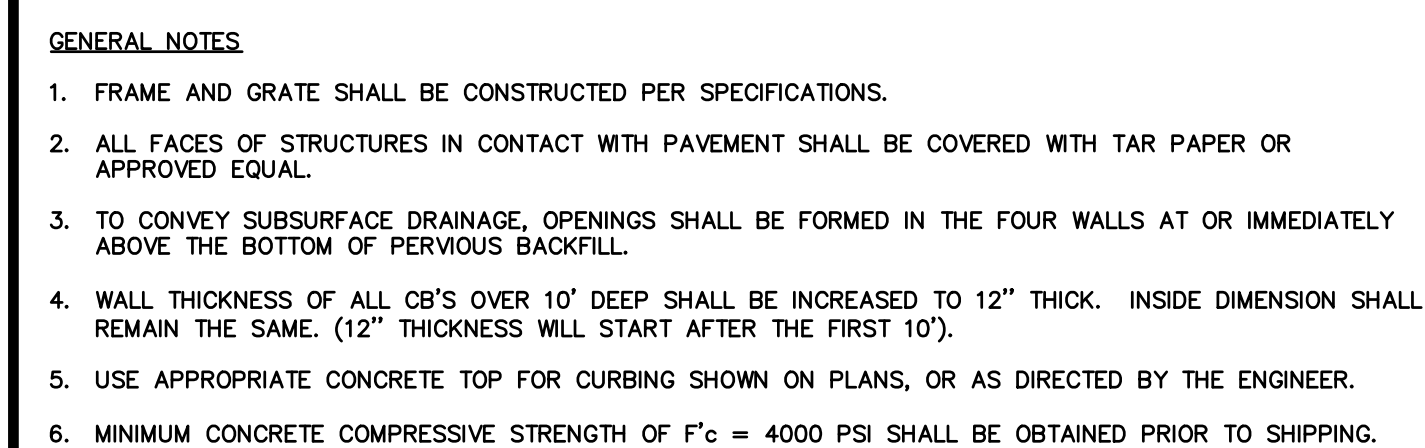
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SCALE: AS SHOWN

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DWG. NO:  
JOB. NO: 83735.00

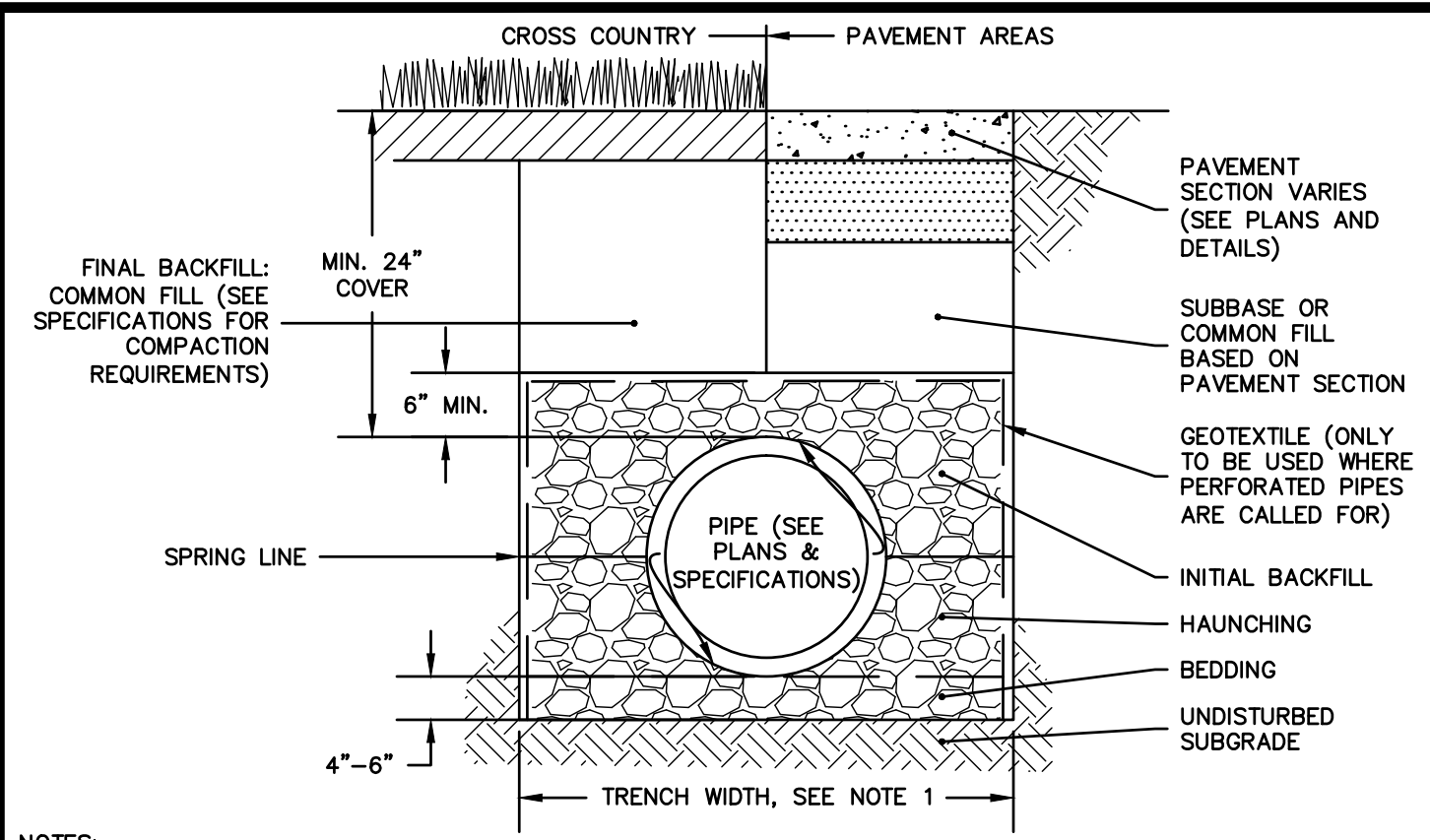
**SSD APPLICATION SUBMISSION**

C-5.0







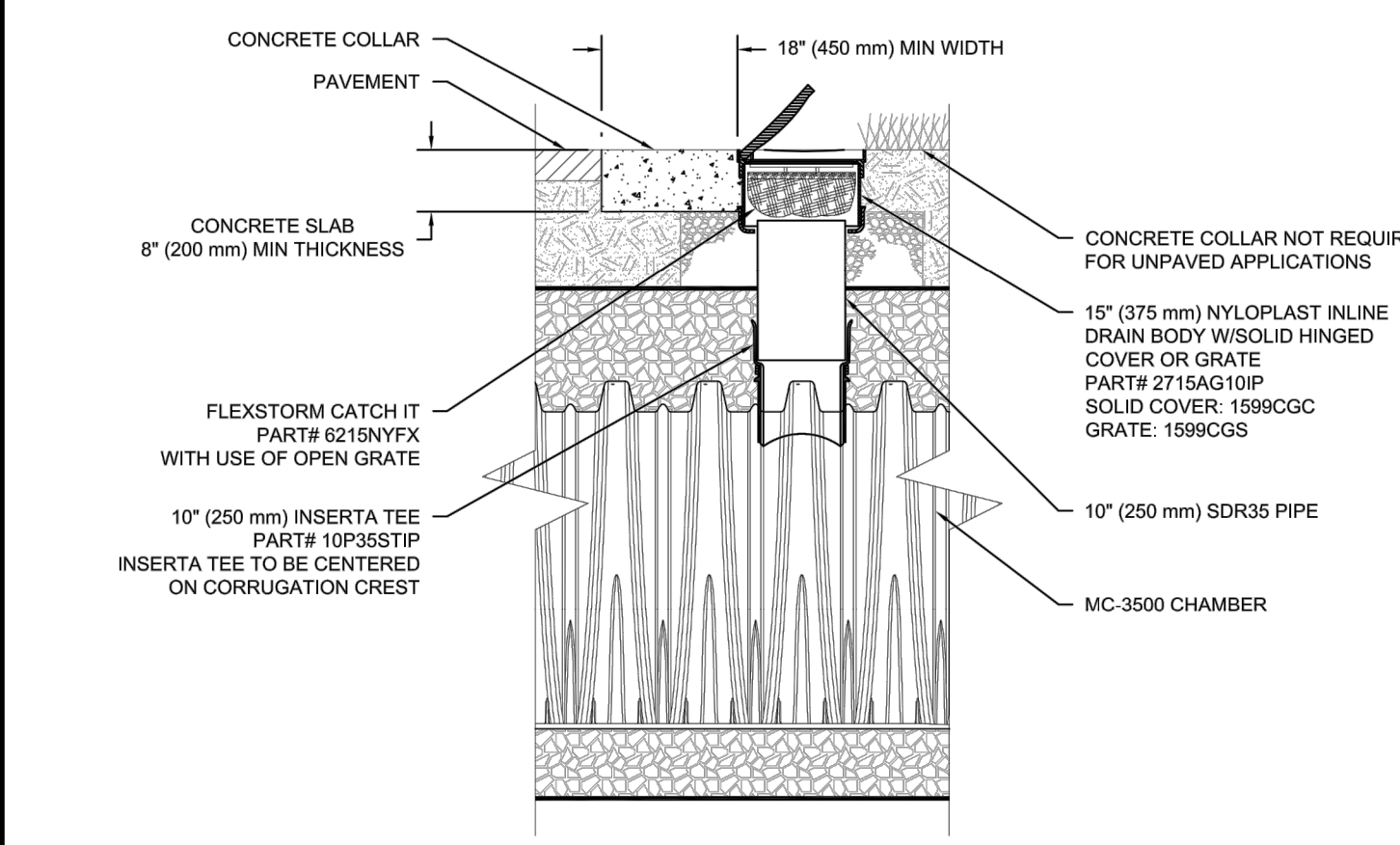


**NOTES:**

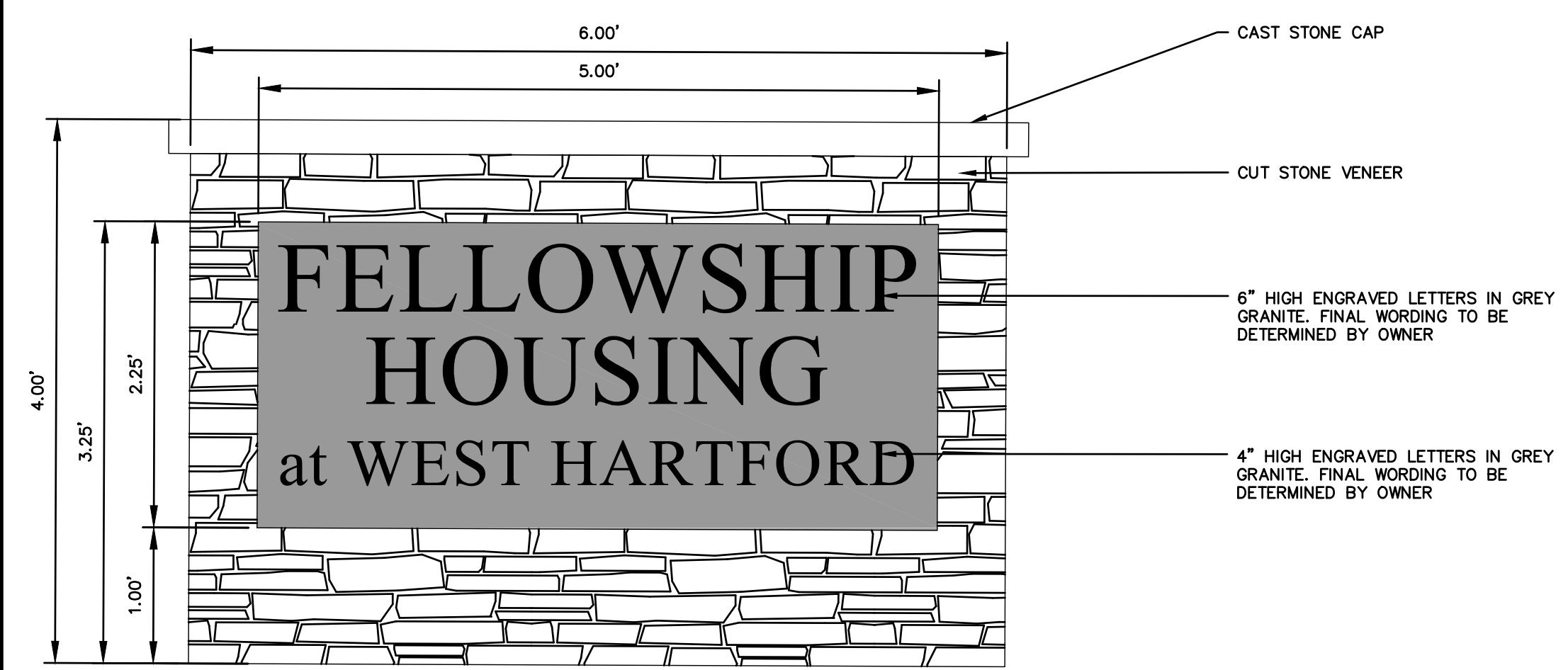
- WHERE TRENCH WALLS ARE STABLE OR SUPPORTED, PROVIDE A WIDTH SUFFICIENT, BUT NO GREATER THAN NECESSARY, TO ENSURE WORKING ROOM TO PROPERLY PLACE AND COMPACT HAUNCHING AND OTHER EMBEDMENT MATERIALS, UNLESS OTHERWISE SPECIFIED BY THE PIPE MANUFACTURER, THE SPACE BETWEEN THE PIPE AND TRENCH WALL MUST BE WIDER THAN THE COMPACTION EQUIPMENT USED IN THE PIPE ZONE. MINIMUM WIDTH SHALL BE NOT LESS THAN THE GREATER OF EITHER THE PIPE OUTSIDE DIAMETER PLUS 16 INCHES OR THE PIPE OUTSIDE DIAMETER TIMES 1.25, PLUS 12 INCHES.
- WHERE PERFORATED PIPES ARE CALLED-FOR, BEDDING, HAUNCHING, AND INITIAL BACKFILL SHALL BE CONNDOT NO. 6 CRUSHED STONE SHALL MEET THE REQUIREMENTS OF FORM 816 M.O.B.
- WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL PER THE SPECIFICATIONS. AS AN ALTERNATIVE, AND AT THE DISCRETION OF THE ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL UNDER SOME CIRCUMSTANCES.
- BEDDING, HAUNCHING, AND INITIAL BACKFILL SHALL BE CONNDOT NO. 6, NO. 67, OR NO. 8 AGGREGATE OR OTHER MATERIALS MEETING THE REQUIREMENTS OF ASTM D2321 FOR CLASS IA, IB, II, OR III UNLESS OTHERWISE INDICATED BY THE PIPE MANUFACTURER.

### TYPICAL TRENCH SECTION – THERMOPLASTIC DRAINAGE PIPE

SCALE: NONE



MC-3500 10" INSPECTION PORT DETAIL  
NTS



**NOTES:**

- SIGN AREA EQUALS 11.25 SQ. FT.

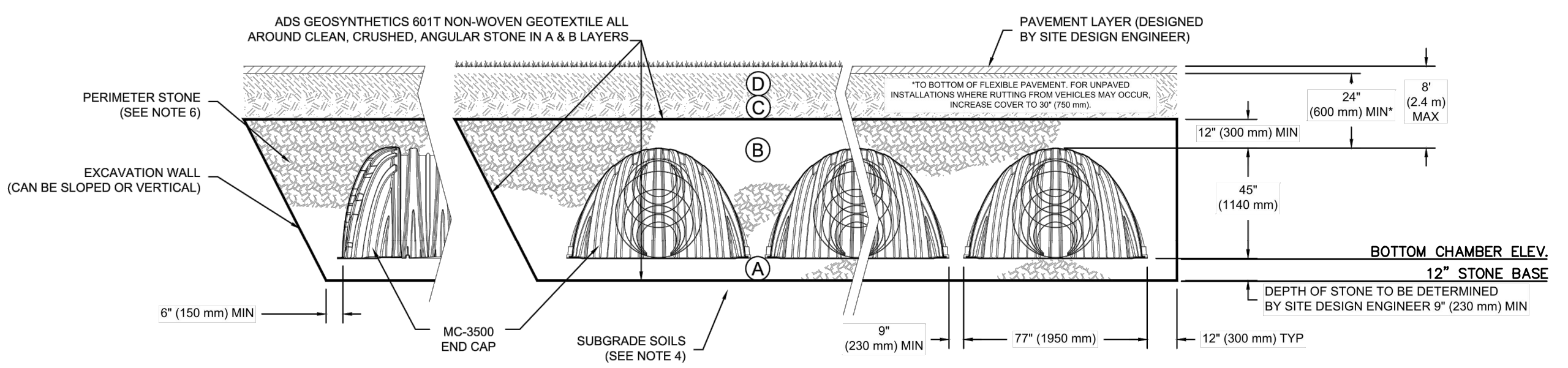
### MONUMENT SIGN

SCALE: NONE

### ACCEPTABLE FILL MATERIALS: STORMTECH MC-3500 CHAMBER SYSTEMS

| MATERIAL LOCATION | DESCRIPTION   | AASHTO MATERIAL CLASSIFICATIONS   | COMPACTION / DENSITY REQUIREMENT  |
|-------------------|---|---|---|
| D                 | <b>FINAL FILL:</b> FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER | N/A   | PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.   |
| C                 | <b>INITIAL FILL:</b> FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE (B LAYER) TO 24" (600 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.  | AASHTO M145 <sup>1</sup><br>A-1, A-2-4, A-3<br>OR<br>AASHTO M43 <sup>1</sup><br>3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10 | BEGIN COMPACTIONS AFTER 24" (600 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 12" (300 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS. |
| B                 | <b>EMBEDMENT STONE:</b> FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.   | AASHTO M43 <sup>1</sup><br>3, 4   | NO COMPACTION REQUIRED.   |
| A                 | <b>FOUNDATION STONE:</b> FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.  | AASHTO M43 <sup>1</sup><br>3, 4   | PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. <sup>2</sup>   |

PLEASE NOTE:  
1. THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".  
2. STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 9" (230 mm) (MAX) LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.  
3. WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.



### NOTES:

- MC-3500 CHAMBERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM F2418 "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- MC-3500 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- "ACCEPTABLE FILL MATERIALS" TABLE ABOVE PROVIDES MATERIAL LOCATIONS, DESCRIPTIONS, GRADATIONS, AND COMPACTION REQUIREMENTS FOR FOUNDATION, EMBEDMENT, AND FILL MATERIALS.
- THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.  
PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
- ONCE LAYER 'C' IS PLACED, ANY SOIL/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.

### STORMWATER DETENTION SYSTEM

## WEST HARTFORD FELLOWSHIP HOUSING REDEVELOPMENT

10 & 60 STARKEL ROAD

IN  
WEST HARTFORD  
CONNECTICUT

### DETAILS

MAY 31, 2019

#### REVISIONS:

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PREPARED FOR:  
WEST HARTFORD FELLOWSHIP HOUSING  
10-60 STARKEL ROAD  
WEST HARTFORD, CT 06117

**BSC GROUP**  
300 Winding Brook Drive  
Glastonbury, Connecticut 06033  
860 652 8227

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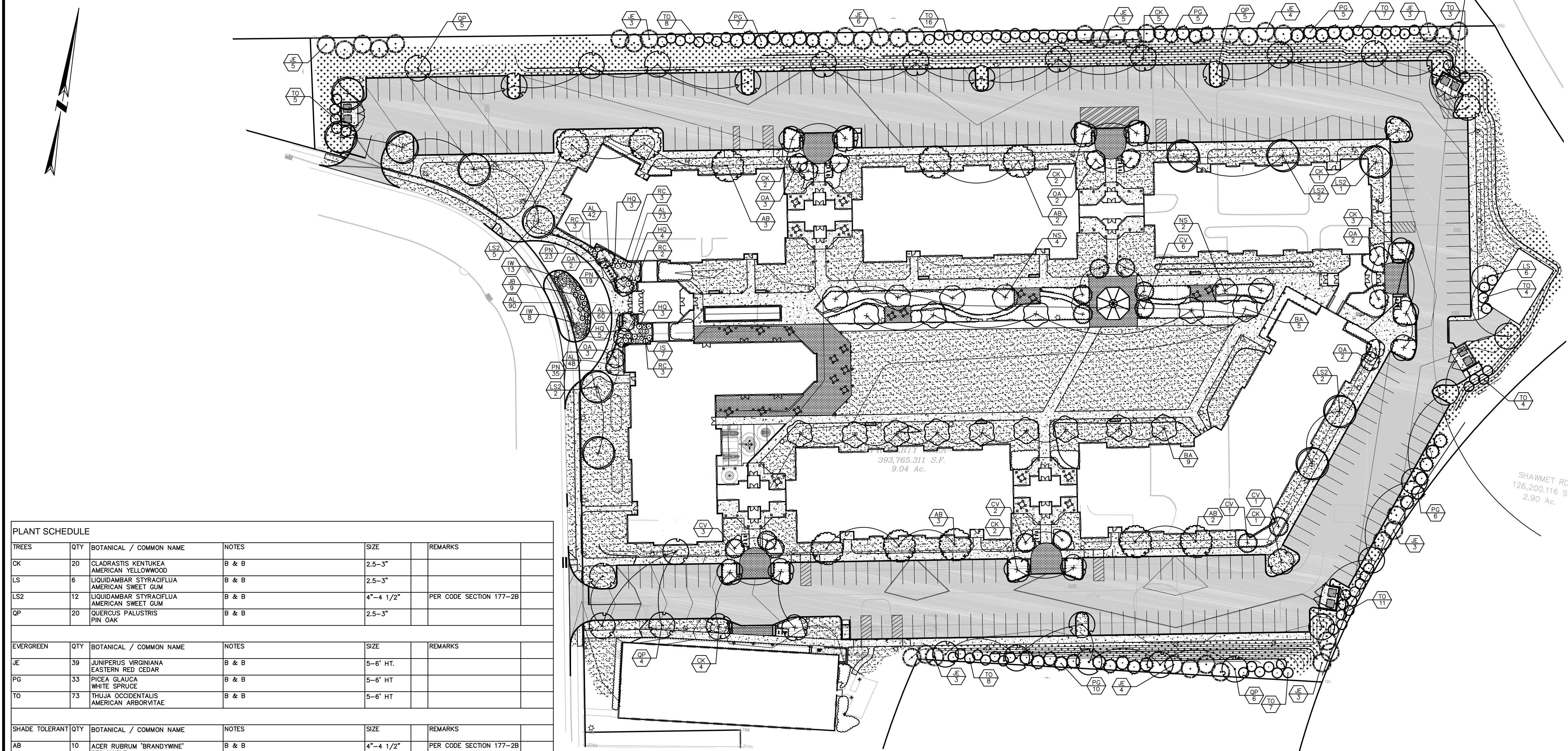
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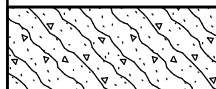

C-5.2

SSD APPLICATION SUBMISSION

WEST HARTFORD FELLOWSHIP HOUSING REDEVELOPMENT - MAY 31, 2019





| PLANT SCHEDULE  |      |  |   |            |              |                         |          |         |
|---|------|--|---|------------|--------------|-------------------------|----------|---------|
| TREES   | QTY  | BOTANICAL / COMMON NAME  |   | NOTES      | SIZE         | REMARKS                 |          |         |
| CK  | 20   | CLADRASTIS KENTUKEA<br>AMERICAN YELLOWWOOD                     |   | B & B      | 2.5-3"       |                         |          |         |
| LS  | 6    | LIQUIDAMBAR STYRACIFLUA<br>AMERICAN SWEET GUM                  |   | B & B      | 2.5-3"       |                         |          |         |
| LS2   | 12   | LIQUIDAMBAR STYRACIFLUA<br>AMERICAN SWEET GUM                  |   | B & B      | 4"-4 1/2"    | PER CODE SECTION 177-2B |          |         |
| QP  | 20   | QUERCUS PALUSTRIS<br>PIN OAK                                   |   | B & B      | 2.5-3"       |                         |          |         |
|   |      |  |   |            |              |                         |          |         |
| EVERGREEN   | QTY  | BOTANICAL / COMMON NAME  |   | NOTES      | SIZE         | REMARKS                 |          |         |
| JE  | 39   | JUNIPERUS VIRGINIANA<br>EASTERN RED CEDAR                      |   | B & B      | 5-6' HT.     |                         |          |         |
| PG  | 33   | PICEA GLAUCA<br>WHITE SPRUCE                                   |   | B & B      | 5-6' HT      |                         |          |         |
| TO  | 73   | THUJA OCCIDENTALIS<br>AMERICAN ARBORVITAE                      |   | B & B      | 5-6' HT      |                         |          |         |
|   |      |  |   |            |              |                         |          |         |
| SHADE TOLERANT  | QTY  | BOTANICAL / COMMON NAME  |   | NOTES      | SIZE         | REMARKS                 |          |         |
| AB  | 10   | ACER RUBRUM 'BRANDYWINE'<br>RED MAPLE                          |   | B & B      | 4"-4 1/2"    | PER CODE SECTION 177-2B |          |         |
| BA  | 14   | BETULA ALLEGHANIENSIS<br>YELLOW BIRCH                          |   | B & B      | 2-2.5" CAL.  |                         |          |         |
| NS  | 6    | NYSSA SYLVATICA<br>SOUR GUM                                    |   | B & B      | 2.5-3"       |                         |          |         |
|   |      |  |   |            |              |                         |          |         |
| SMALL   | QTY  | BOTANICAL / COMMON NAME  |   | NOTES      | SIZE         | REMARKS                 |          |         |
| CV  | 13   | CHIONANTHUS VIRGINICUS<br>WHITE FRINGETREE                     |   | B & B      | 2-2.5" CAL.  |                         |          |         |
| OA  | 14   | OXYDENDRUM ARBOREUM<br>SOURWOOD TREE                           |   | B & B      | 2.5" CAL     |                         |          |         |
|   |      |  |   |            |              |                         |          |         |
| SHRUBS  | QTY  | BOTANICAL / COMMON NAME  |   | NOTES      | SIZE         | REMARKS                 |          |         |
| HQ  | 15   | HYDRANGEA QUERCIFOLIA<br>OAKLEAF HYDRANGEA                     |   | 18-24" HT. |              |                         |          |         |
| IW  | 21   | ILEX VERTICILLATA<br>WINTERBERRY                               |   | 15-18" HT  |              |                         |          |         |
|   |      |  |   |            |              |                         |          |         |
| EVERGREEN   | QTY  | BOTANICAL / COMMON NAME  |   | NOTES      | SIZE         | REMARKS                 |          |         |
| JB  | 9    | JUNIPERUS VIRGINIANA 'BLUE MOUNTAIN'<br>BLUE MOUNTAIN JUNIPER  |   | 18-24" HT. |              |                         |          |         |
| RC  | 11   | RHODODENDRON CATAWBIENSE 'ALBUM'<br>WHITE CATAWBA RHODODENDRON |   | 2 GAL      | 2-2.5' HT    |                         |          |         |
|   |      |  |   |            |              |                         |          |         |
| SHADE TOLERANT  | QTY  | BOTANICAL / COMMON NAME  |   | NOTES      | SIZE         | REMARKS                 |          |         |
| IS  | 7    | ITEA VIRGINICA 'SCARLET BEAUTY'<br>SCARLET BEAUTY SWEETSPIRE   |   | 15-18" HT  |              |                         |          |         |
|   |      |  |   |            |              |                         |          |         |
| GROUND COVERS   | CODE | QTY  | BOTANICAL / COMMON NAME                                 |            | CONT         | ITEM                    | SPACING  | REMARKS |
|  | AL   | 313  | ACHILLEA MILLEFOLIUM 'LAVENDER BEAUTY'<br>YARROW        |            | FLAT 20 MIN. |                         | 18" o.c. |         |
| GRASSES   | CODE | QTY  | BOTANICAL / COMMON NAME                                 |            | CONT         | ITEM                    | SPACING  | REMARKS |
|  | PN   | 77   | PANICUM VIRGATUM 'NORTH WIND'<br>NORTHWIND SWITCH GRASS |            | 1 GAL        |                         | 30" o.c. |         |

- NOTES:
- THE CONTRACTOR SHALL CLEARLY MARK LIMITS OF CLEARING AND LIMITS OF TREE REMOVAL, SELECTIVE PRUNING AND THINNING FOR REVIEW BY THE LANDSCAPE ARCHITECT PRIOR TO ANY CLEARING OPERATIONS. ALL TREE WORK SHALL BE EXECUTED BY A LICENSED ARBORIST.
  - THE CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO PROTECT EXISTING VEGETATION THAT IS DESIGNATED, TO REMAIN.
  - ALL TREES TO BE SAVED SHALL BE PROTECTED. SEE SPECIFICATION FOR TREE PROTECTION REQUIREMENTS.
  - EXISTING ON SITE TOPSOIL MAY BE REUSED UPON APPROVAL BY THE LANDSCAPE ARCHITECT. EXISTING TOPSOIL SHALL BE TESTED AND AMENDED FOR NUTRIENTS, ORGANIC MATTER, pH, AND SOIL TEXTURE. - SEE SPECIFICATIONS.
  - REMOVE ALL ROCKS AND DEBRIS FROM SOIL SURFACE AND GRADE TO AN EVEN SURFACE. - SEE SPECIFICATIONS.
  - COMPLETE QUANTITIES OF PLANTS FOR EACH AREA TO BE AVAILABLE ON SITE AT THE TIME OF PLANTING FOR FIELD LAYOUT BY OWNER'S REPRESENTATIVE. NO PARTIAL LAYOUT AND PLANTING OF AREAS WILL BE ACCEPTABLE.
  - ALL PLANT MATERIAL SHALL CONFORM TO THE MINIMUM GUIDELINES ESTABLISHED BY THE AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERMEN, INC. - SEE SPECIFICATION FOR DETAILED REQUIREMENTS.
  - ANY PROPOSED SUBSTITUTIONS OF PLANT MATERIAL SHALL BE MADE WITH MATERIAL EQUIVALENT TO THE DESIRED MATERIAL IN OVERALL FORM, HEIGHT, BRANCHING HABIT, FLOWER, LEAF, COLOR, FRUIT AND CULTURE. NO SUBSTITUTION OF PLANT SPECIES OR VARIETIES WILL BE ACCEPTABLE WITHOUT LANDSCAPE ARCHITECT'S WRITTEN APPROVAL.
  - OWNER'S REPRESENTATIVE TO APPROVE PLANT MATERIAL PRIOR TO DELIVERY TO SITE AND AGAIN AT THE PROJECT SITE PRIOR TO PLANTING.
  - VERIFY ALL EXISTING UTILITY LINES PRIOR TO PLANTING AND REPORT ANY CONFLICTS TO THE OWNER OR HIS REPRESENTATIVE.
  - NO PLANTING SHALL OCCUR PRIOR TO ACCEPTANCE OF FINAL GRADING.
  - INSTALL PLANTS WITH ROOT FLARES FLUSH WITH GRADE. IMMEDIATELY REPLANT PLANTS WHICH SETTLE OUT OF PLUMB OR BELOW FINISH GRADE.
  - SEE SPECIFICATIONS FOR PLANTING MAINTENANCE AND GUARANTEE REQUIREMENTS.
  - THE LANDSCAPE ARCHITECT OR ENGINEER RESERVES THE RIGHT TO ADJUST FINAL GRADES IN THE FIELD TO SAVE EXISTING VEGETATION.
  - PLANT QUANTITIES NOTED IN THE PLANT SCHEDULE ARE APPROXIMATE AND ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FURNISHING AND INSTALLATION OF ALL PLANT MATERIALS NOTED ON THE PLANTING PLAN.
  - CAUTION SHALL BE USED NOT TO EXTEND MULCH LAYER ABOVE SOIL LEVEL AT TRUNKS/STEMS OF INSTALLED PLANT MATERIAL.
  - PROVIDE FOUR (4) FOOT DIAMETER MULCH CIRCLE AROUND ALL INDIVIDUAL TREE PLANTINGS AND CONTINUOUS MULCH BED AROUND SHRUB, PERENNIAL AND GROUND COVER PLANTINGS, UNLESS OTHERWISE NOTED. DO NOT MOUND SOIL OR MULCH AT TRUNKS.
  - ALL PLANTING SHALL BE DONE UNDER FULL SUPERVISION OF CERTIFIED ARBORIST, NURSERYMAN, OR LICENSED LANDSCAPE ARCHITECT.
  - LOOSE OR CRACKED ROOTBALLS SHALL BE REJECTED.

NEW ENGLAND CONSERVATION / WILDLIFE MIX  
The New England Conservation Wildlife Mix provides a permanent cover of grasses, wildflowers, and legumes. For both good erosion control and wildlife habitat value. The mix is designed to be a no maintenance seeding, and is appropriate for cut and fill slopes, detention basin side slopes, and disturbed areas adjacent to commercial and residential projects.

APPLICATION RATE: 25lbs/acre | 1750 sq ft/b

SPECIES: Virginia Wild Rye (Elymus virginicus), Little Bluestem (Schizachyrium scoparium), Big Bluestem (Andropogon gerardii), Red Fescue (Festuca rubra), Switch Grass (Panicum virgatum), Partridge Pea (Chamaecrista fasciculata), Panicleleaf Tick Trefoil (Desmodium paniculatum), Indian Grass (Sorghastrum nutans), Blue Vervain (Verbena hastata), Butterfly Milkweed (Asclepias tuberosa), Black Eyed Susan (Rudbeckia hirta), Common Sneezeweed (Helenium autumnale), Heath Aster (Aster pilosus/Symphoricarpos pilosum), Early Goldenrod (Solidago juncea), Upland Bentgrass (Agrostis perennans).

NEW ENGLAND SHOWY WILDFLOWER MIX  
The New England Showy Wildflower mix includes a selection of native wildflowers and grasses that will mature into a colorful and vibrant native meadow. It is appropriate seed mix for roadsides, commercial landscaping, parks, golf courses, and industrial sites. Always apply on clean bare soil. The mix may be applied by mechanical spreader, or on small sites it can be spread by hand. Lightly rake, or roll to ensure proper seed to soil contact. Best results are obtained with a Spring or late Fall dormant seeding. Late Spring and early Summer seeding will benefit with a light mulching of weed free straw to conserve moisture. If conditions are drier than usual, watering may be required. Late Fall and Winter dormant seeding require an increase in the seeding rate. Fertilization is not required unless the soils are particularly infertile. Preparation of a clean weed free seed bed is necessary for optimal results.

APPLICATION RATE: 23 lbs/acre | 1900 sq ft/b

SPECIES: Little Bluestem (Schizachyrium scoparium), Red Fescue (Festuca rubra), Indian Grass (Sorghastrum nutans), Partridge Pea (Chamaecrista fasciculata), Canada Wild Rye (Elymus canadensis), Riverbank Wild Rye (Elymus riparius), Butterfly Milkweed (Asclepias tuberosa), Black Eyed Susan (Rudbeckia hirta), Lance Leaved Coneopsis (Coneopsis lanceolata), Ox Eye Sunflower (Helopsis helianthoides), Common Sneezeweed (Helenium autumnale), Marsh Blazing Star (Liatris spicata), Blue Vervain (Verbena hastata), New England Aster (Aster novae-angliae), Wild Blue False Indigo (Baptisia australis), Hollowstem Joe Pye Weed (Eupatorium fistulosum), Eutrochium fistulosum, Early Goldenrod (Solidago juncea).

PLANT LIST FOR PLANTED AREAS:

SHRUBS

Evergreen

- Ilex glabra - Inkberry
- Juniperus virginiana 'Grey Owl' - Grey Owl Juniper
- Kalmia latifolia - Mountain Laurel
- Leucothoe axillaris - Coast Leucothoe
- Rhododendron

Deciduous

- Clethra alnifolia - Summersweet
- Cornus sericea - Redtwig Dogwood
- Hemericallis - Daylily
- Hydrangea quercifolia - Oak Leaf Hydrangea
- Ilex verticillata - Winterberry
- Itea virginica - Sweetspice
- Vaccinium angustifolium - Lowbush Blueberry

GROUND COVERS AND PERENNIALS

Evergreen

- Juniperus horizontalis 'Bar Harbor' - Bar Harbor Juniper
- Liriodendron - Liriodendron

Deciduous

- Achillea - Yarrow
- Alchaeia mollis - Lady's Mantle
- Arctostaphylos uva-ursi - Bearberry
- Aster
- Echinacea - Coneflower
- Hemerocallis - Daylily
- Hosta - Plantain Lily
- Rhus aromatica - Fragrant Sumac
- Rudbeckia - Black-Eyed Susan
- Solidago - Goldenrod

- LEGEND
- PROPERTY LINE
  - LIMIT OF WORK
  - PROPERTY SETBACK
  - PROPOSED CURBING
  - CHAIN LINK FENCE
  - BIT - BITUMINOUS CONCRETE
  - CONC - CONCRETE
  - BCLC - BITUMINOUS CONCRETE LIP CURB
  - MCC - MONOLITHIC CONCRETE CURB
  - CC - CONCRETE CURB
  - EOP - EDGE OF PAVEMENT
  - R - CURVE RADIUS
  - L - CURB LENGTH
  - DETECTABLE WARNING
  - CONCRETE UNIT PAVERS
  - CONCRETE PAVEMENT
  - BITUMINOUS CONCRETE PAVEMENT
  - LAWN
  - PLANTED AREA
  - REINFORCED TURF
  - RIPRAP STONE
  - SITE BENCH

SSD APPLICATION SUBMISSION

BEACON HARBOR No. 2000

WEST HARTFORD FELLOWSHIP HOUSING REDEVELOPMENT

10 & 60 STARKEL ROAD  
IN  
WEST HARTFORD CONNECTICUT

PLANTING PLAN

MAY 31, 2019

| REVISIONS: |  |
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PREPARED FOR:  
WEST HARTFORD FELLOWSHIP HOUSING  
10-60 STARKEL ROAD  
WEST HARTFORD, CT 06117

**BSC GROUP**  
300 Winding Brook Drive  
Glastonbury, Connecticut 06033  
860 652 8227

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SCALE: 1" = 40'  
0 20 40 80 FEET

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DWG. NO:  
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WEST HARTFORD  
FELLOWSHIP  
HOUSING  
REDEVELOPMENT

10 & 60 STARKEL ROAD

IN  
WEST HARTFORD  
CONNECTICUT

PHOTOMETRICS PLAN

MAY 31, 2019

REVISIONS:

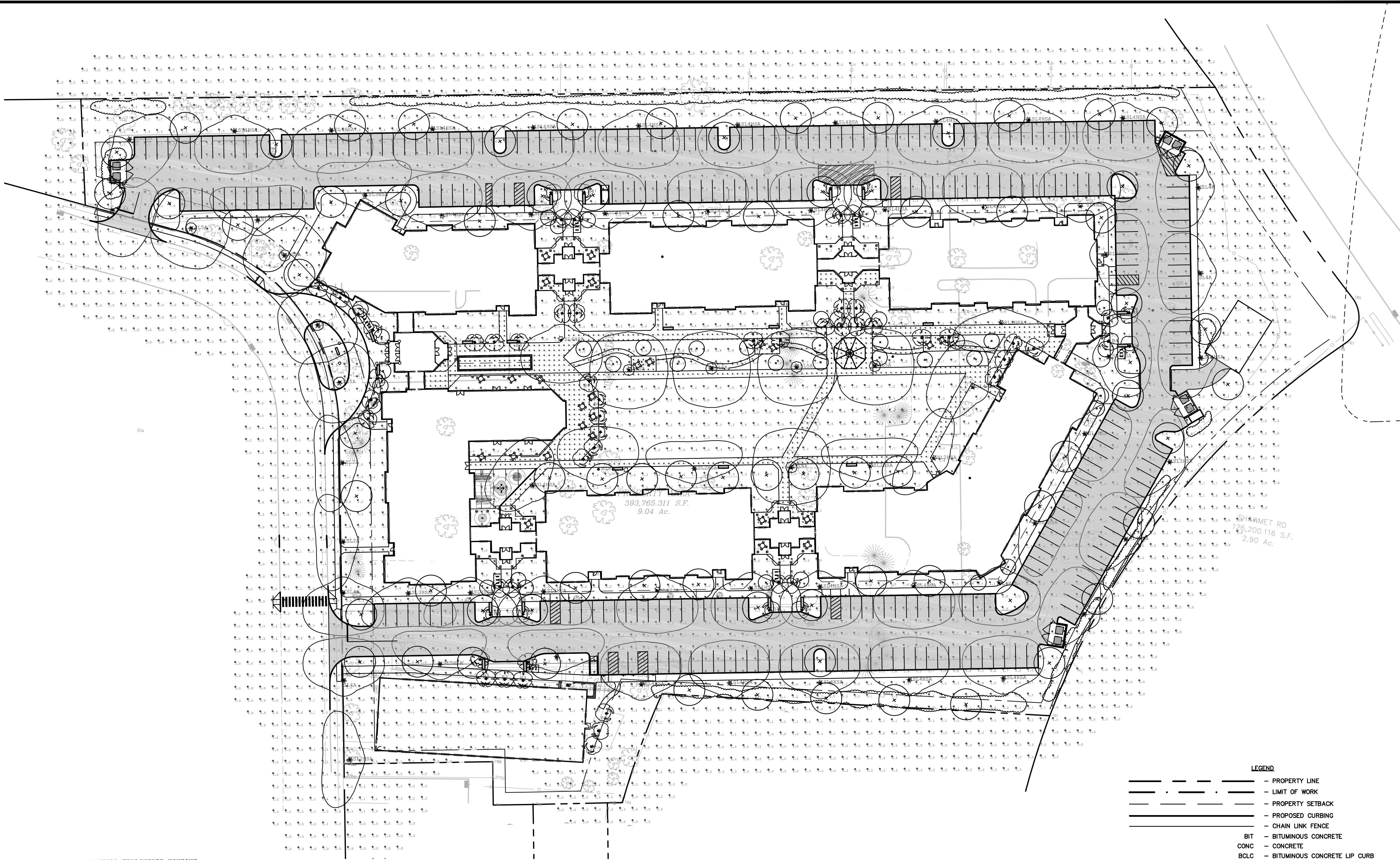
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PREPARED FOR:  
WEST HARTFORD FELLOWSHIP HOUSING  
10-60 STARKEL ROAD  
WEST HARTFORD, CT 06117

**BSC GROUP**  
300 Winding Brook Drive  
Glastonbury, Connecticut 06033  
860 652 8227

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SCALE: 1" = 40'  
0 20 40 80 FEET

FILE: 8373500-LIGHTING.DWG  
DWG. NO:  
JOB. NO: 83735.00  
**L-2.0**



JOB NAME: WEST HARTFORD FELLOWSHIP HOUSING  
APEX LIGHTING SOLUTIONS  
REFLECTANCES: N/A  
WORKPLANE/CALC PLANE: @ GRADE  
MOUNTING HEIGHT: SEE LUMINAIRE SCHEDULE  
APPS: CR  
SALES: SP

| Qty | Label  | Arrangement | Lumens | Input Watts | LLF   | BUG Rating | Description  |
|-----|--------|-------------|--------|-------------|-------|------------|--|
| 31  | B3     | SINGLE      | 521    | 9.6         | 0.850 | B0-U2-G1   | STERNBERG 806LED-346B-48-1L40T3-MDL02-FINISH W/ OPTICAL CENTER @ 3.5FT AFG   |
| 31  | B4     | SINGLE      | 561    | 9.6         | 0.850 | B0-U2-G1   | STERNBERG 806LED-346B-48-1L40T4-MDL02-FINISH W/ OPTICAL CENTER @ 3.5FT AFG   |
| 2   | SL2A   | SINGLE      | 5214   | 73          | 0.850 | B1-U3-G1   | LUMEC L80-72W32LED4K-T-PC-CS-LE2-BALLAST-DRIVER-SFA-FINISH MOUNTED TO APR4F-12-FINISH W/ OPTICAL CENTER @ APPROX. 14FT AFG |
| 6   | SL2HSA | SINGLE      | 5214   | 73          | 0.850 | B1-U3-G1   | LUMEC L80-72W32LED4K-T-PC-CS-LE2-BALLAST-DRIVER-SFA-FINISH MOUNTED TO APR4F-12-FINISH W/ OPTICAL CENTER @ APPROX. 14FT AFG |
| 1   | SL3A   | SINGLE      | 5178   | 72.3        | 0.850 | B1-U3-G2   | LUMEC L80-72W32LED4K-T-PC-CS-LE3-BALLAST-DRIVER-SFA-FINISH MOUNTED TO APR4F-12-FINISH W/ OPTICAL CENTER @ APPROX. 14FT AFG |
| 7   | SL3HSA | SINGLE      | 5178   | 72.3        | 0.850 | B1-U3-G2   | LUMEC L80-72W32LED4K-T-PC-CS-LE3-BALLAST-DRIVER-SFA-FINISH MOUNTED TO APR4F-12-FINISH W/ OPTICAL CENTER @ APPROX. 14FT AFG |
| 5   | SL4A   | SINGLE      | 5171   | 73          | 0.850 | B1-U3-G2   | LUMEC L80-72W32LED4K-T-PC-CS-LE4-BALLAST-DRIVER-SFA-FINISH MOUNTED TO APR4F-12-FINISH W/ OPTICAL CENTER @ APPROX. 14FT AFG |
| 39  | SL4HSA | SINGLE      | 5171   | 73          | 0.850 | B1-U3-G2   | LUMEC L80-72W32LED4K-T-PC-CS-LE4-BALLAST-DRIVER-SFA-FINISH MOUNTED TO APR4F-12-FINISH W/ OPTICAL CENTER @ APPROX. 14FT AFG |
| 9   | SL5A   | SINGLE      | 5273   | 73          | 0.850 | B3-U3-G2   | LUMEC L80-72W32LED4K-T-PC-CS-LE5-BALLAST-DRIVER-SFA-FINISH MOUNTED TO APR4F-12-FINISH W/ OPTICAL CENTER @ APPROX. 14FT AFG |

| Calculation Summary           |        |      |      |     |         |         |
|-------------------------------|--------|------|------|-----|---------|---------|
| Label                         | Grid Z | Avg  | Max  | Min | Avg/Min | Max/Min |
| INTERIOR WALKWAYS AND PORCHES | 0      | 1.11 | 14.2 | 0.0 | N.A.    | N.A.    |
| WH FELLOWSHIP HOUSING         | 0      | 0.66 | 14.4 | 0.0 | N.A.    | N.A.    |
| WRAP AROUND PARKING LOT       |        | 1.21 | 5.1  | 0.5 | 2.42    | 10.20   |

- LEGEND**
- PROPERTY LINE
  - LIMIT OF WORK
  - PROPERTY SETBACK
  - PROPOSED CURBING
  - CHAIN LINK FENCE
  - BITUMINOUS CONCRETE
  - CONCRETE
  - BITUMINOUS CONCRETE LIP CURB
  - MONOLITHIC CONCRETE CURB
  - CONCRETE CURB
  - EDGE OF PAVEMENT
  - CURVE RADIUS
  - CURB LENGTH
  - DETECTABLE WARNING
  - CONCRETE UNIT PAVERS
  - CONCRETE PAVEMENT
  - BITUMINOUS CONCRETE PAVEMENT
  - LAWN
  - PLANTED AREA
  - REINFORCED TURF
  - RIPRAP STONE
  - SITE BENCH

SSD APPLICATION SUBMISSION